

**From:** Michelle Marshall [mailto:Michellelm@stowmarket.org]  
**Sent:** 19 September 2014 11:23  
**To:** Planning Admin  
**Subject:** Planning applications

Please see below for comments from Stowmarket town Council regarding recent planning applications:

Ref. No.	Details	Site & Applicant	Comments
2742/14	The demolition of forty-two dwellings and 10 garages and erection of sixty-two affordable dwellings with associated external works and parking.	Land at St Marys Road, Kingsmead Road, Kingsmead Close, Lydgate Close and Silverdale Avenue for Orbit Homes	RESOLVED: That no objection be raised to the grant of planning permission, however, the Town Council wishes to make the following recommendations: i) That the proposed parking spaces to be created on the green space opposite the Wolsey Road shops be removed; ii) That the green space opposite the Wolsey Road shops be reduced in size to allow Wolsey Road to be widened by one metre; iii) That the width of Wolsey Road be widened by one metre to allow car parking on both sides of the road; iv) That Wolsey Road be converted into a one-way road; and v) That the developers take steps to ensure that car parking is not able to take place on any grass verges as it leads to damage to the verges which becomes extremely unsightly.

Kind regards,  
Michelle

Michelle Marshall  
Deputy Town Clerk

Stowmarket Town Council  
Milton House | Milton Road South | Stowmarket | Suffolk | IP14 1EZ

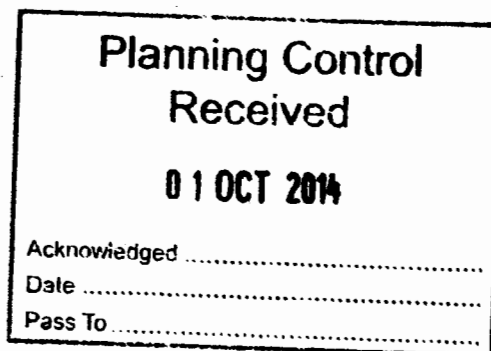
01449 612060 | [michellelm@stowmarket.org](mailto:michellelm@stowmarket.org)

Your Ref: MS/2742/14  
 Our Ref: 570/COM2230/14  
 Date: 30<sup>th</sup> September 2014  
 Enquiries to: Martin Egan  
 Tel: 01473 264757  
 Email: martin.egan@suffolk.gov.uk



The District Planning Officer  
 Mid Suffolk District Council  
 Council Offices  
 131 High Street  
 Needham Market  
 Ipswich  
 Suffolk  
 IP6 8DL

For the Attention of: Elizabeth Truscott



Dear Sir

**TOWN AND COUNTRY PLANNING ACT 1990  
 CONSULTATION RETURN MS/2742/14**

**PROPOSAL:** The demolition of forty-two dwellings and 10 garages and erection of sixty-two affordable dwellings with associated external works and parking at Location: Land at St Marys Road, Kingsmead Road, Kingsmead Close, Lydgate Close and Silverdale Avenue, Stowmarket

**LOCATION:** Land at, St Marys Road, Stowmarket, Suffolk

Notice is hereby given that the County Council as Highway Authority make the following comments:

Although the Highway Authority has no objection in principle to the redevelopment the submitted details relating to car parking are not acceptable.

The area of Kingmead Close in front of plots 14 to 21 is adopted highway. It is not therefore possible to allocate car parking for plots 14, 15, 16, 17 and 21 on the public highway. These plots will require car parking positioned within their curtilage or in a parking court.

In addition to the above the applicant / developer will also be required to replace all the frontage footways along Kingsmead Road, Silverdale Avenue, Lydgate Road and St Marys Road where new dwellings are proposed. The existing footways and verges are likely to receive significant damage during the demolition and rebuilding process. Also they are generally concrete construction (not a current footway construction material) and it will not be possible or practical to achieve a good finished surface once all the new accesses are created and the old accesses removed.

There are also a number of trees proposed within the existing highway verges. These should be located clear of the highway areas within front gardens.

Please inform the applicant of my comments and I shall await revised details in due course. If the applicant is unwilling to revise the scheme then the application will likely receive a highways recommendation for refusal due to insufficient car parking.

Yours faithfully



Mr Martin Egan  
Development Management Engineer  
Highway Network Improvement Services  
Economy, Skills & Environment



Elizabeth Truscott  
Planning Department  
Mid Suffolk District Council  
131 High Street  
Needham Market  
IP6 8DL

24/09/2014

Dear Elizabeth,

**RE: 2742/14 The demolition of forty-two dwellings and 10 garages and erection of sixty-two affordable dwellings with associated external works and parking. Land at St Marys Road, Kingsmead Road, Kingsmead Close, Lydgate Close and Silverdale Avenue, Stowmarket**

Thank you for sending us details of this application, we have the following comments:

We have read the ecological survey report (Wild Frontier Ecology, July 2014) and we are satisfied with the findings of the consultant. We request that the recommendations made within the report are implemented in full, via a condition of planning consent, should permission be granted.

In addition to the mitigation measures included in the ecological survey report, we recommend that the design of the boundary fences of the new dwellings incorporates access points for species such as hedgehogs. Urban gardens provide important habitats for hedgehogs and therefore allowing free access through boundaries will help maintain connectivity.

If you require any further information please do not hesitate to contact us.

Yours sincerely

James Meyer  
Conservation Planner

Suffolk Wildlife Trust,  
Brooke House, Ashbocking,  
Ipswich, IP6 9JY  
Tel: 01473 890089

[www.suffolk-wildlife-trust.org](http://www.suffolk-wildlife-trust.org)

[info@suffolk-wildlife-trust.org](mailto:info@suffolk-wildlife-trust.org)

Suffolk Wildlife Trust is a  
registered charity  
no. 262777

**From:** Pittam, Nathan [mailto:Nathan.Pittam@babergh.gov.uk]  
**Sent:** 06 October 2014 12:47  
**To:** Planning Admin  
**Cc:** Elizabeth Truscott  
**Subject:** 2742 / 14 / FUL. EH - Land Contamination.

**2742 / 14 / FUL.**

**Land at St Marys Road Kingsmead Road Kingsmead Close Lydgate Close and Silverdale Avenue Stowmarket. The demolition of forty-two dwellings and 10 garages and erection of sixty-two affordable dwellings with associated external works and [...]**

Many thanks for your request for comments in relation to the above application in light of the newly submitted contamination report. I have reviewed the contamination report and there does not appear to be any cause for concern at the site based on the information submitted. No soil samples taken from the site demonstrate concentrations of contaminants that are likely to cause concern and as such I remove my previous recommendation for a condition to be imposed on the development to further investigate the site. As with all applications we would request that developers remain vigilant during the development and contact us in the event of unexpected ground conditions being encountered during construction and that the developer is made aware that the responsibility for the safe development of the site lies with them.

Regards

Nathan

Dr. Nathan Pittam  
Senior Environmental Management Officer - Environmental Protection  
Babergh and Mid Suffolk District Council - Working Together  
t: 01449 724715  
e: [nathan.pittam@babergh.gov.uk](mailto:nathan.pittam@babergh.gov.uk)  
w: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

**BABERGH/MID SUFFOLK DISTRICT COUNCIL****MEMORANDUM**

TO: Chief Planning Control Officer For the attention of: Planning  
FROM: Nathan Pittam, Environmental Protection Team DATE: 11.9.14  
YOUR REF: 2742 / 14 / FUL

SUBJECT: The demolition of forty-two dwellings and 10 garages and erection of sixty-two affordable dwellings with associated external works

Address: Land at St Marys Road Kingsmead Road Kingsmead Close  
Lydgate Close and Silverdale Avenue Stowmarket.

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**Please find below my comments regarding contaminated land matters only.**

The Environmental Protection Team has no objection to the proposed development, but would recommend that the following Planning Condition be attached to any planning permission:

**Proposed Condition: Standard Contaminated Land Condition (CL01)**

*No development shall take place until:*

1. *A strategy for investigating any contamination present on site (including ground gases, where appropriate) has been submitted for approval by the Local Planning Authority.*
2. *Following approval of the strategy, an investigation shall be carried out in accordance with the strategy.*
3. *A written report shall be submitted detailing the findings of the investigation referred to in (2) above, and an assessment of the risk posed to receptors by the contamination (including ground gases, where appropriate) for approval by the Local Planning Authority. Subject to the risk assessment, the report shall include a Remediation Scheme as required.*
4. *Any remediation work shall be carried out in accordance with the approved Remediation Scheme.*
5. *Following remediation, evidence shall be provided to the Local Planning Authority verifying that remediation has been carried out in accordance with the approved Remediation Scheme.*

*Reason: To identify the extent and mitigate risk to the public, the wider environment and buildings arising from land contamination.*

**It is important that the following advisory comments are included in any notes accompanying the Decision Notice:**

***"There is a suspicion that the site may be contaminated or affected by ground gases. You should be aware that the responsibility for the safe development and secure occupancy of the site rests with the developer.***

***Unless agreed with the Local Planning Authority, you must not carry out any development work (including demolition or site preparation) until the requirements of the condition have been met, or without the prior approval of the Local Planning Authority.***

***The developer shall ensure that any reports relating to site investigations and subsequent remediation strategies shall be forwarded for comment to the following bodies:***

- ***Local Planning Authority***
- ***Environmental Services***
- ***Building Inspector***
- ***Environment Agency***

***Any site investigations and remediation strategies in respect of site contamination (including ground gases, where appropriate) shall be carried out in accordance with current approved standards and codes of practice.***

***The applicant/developer is advised, in connection with the above condition(s) requiring the submission of a strategy to establish the presence of land contaminants and any necessary investigation and remediation measures, to contact the Council's Environmental Protection Team."***

**Nathan Pittam  
Senior Environmental Management Officer**

## PLANNING CONSULTATION RESPONSE

### COMMUNITIES OFFICER (SPORTS)

#### OPEN SPACE, SPORT AND RECREATION STRATEGY

##### 2742/14 – STOWMARKET

#### 1. Policy background.

- 1.1 In 2006 a Leisure Consultant was commissioned by Mid Suffolk District Council to undertake an Open Space, Sport and Recreation needs assessment. This Needs Assessment, along with Consultation Statement and Sustainability Appraisal were adopted by MSDC in October 2006 (Executive summary attached). This study has been used to assist the Council in its approach to plan for future provision and the protection of sports and play facilities across the District. This assessment has been a key document feeding into the production of the Local Development Framework. In particular the policies covering developers contributions to facility development.
- 1.2 The above documents provided the evidence base for the Council's adopted Supplementary Planning Document for Social Infrastructure including Open Space, Sport and Recreation (implemented February 2007). It provides details of the required facilities under each of the categories for which developer contributions are required.
- 1.3 As a result of the above an 'Open Space, Sport and Recreation Strategy' has been adopted informing the Council of the districts current and future needs up until 2021. This strategy is a working document, which is continually monitored and updated.
- 1.4 This Strategy, as a result of significant community consultation, provides the Council with a clear indication of where new open space, sport and recreation facilities are needed in Mid Suffolk from 2007.
- 1.5 The Strategy is in accordance with the Council's adopted Supplementary Planning Document for Social Infrastructure including Open Space, Sport and Recreation (reported to Environmental Policy Panel February 2006 and adopted in October 2006 and implemented in February 2007).
- 1.6 Consultation responses will demonstrate a clear linkage between the contribution sought and the development proposed, providing up-to-date information which meets the statutory tests set out in regulations 122 and 123 of the CIL Regulations 2010.

#### 2. 2742/14 – Stowmarket

- 2.1 This application is proposing the demolition of 42 dwellings (8x2 bed & 34x3 bed – total 160 persons) and the erection of 62 dwellings (10x1 bed, 27x2 bed, 21x3 bed and 4x4+bed – total 205 persons). Taking into account the existing dwellings to be demolished the contribution for this application is based on 45 additional persons in accordance with the Council's adopted Supplementary Planning Document for Social Infrastructure including Open Space, Sport and Recreation is £82,575.00. This is broken down as follows:

Play Areas	£ 14355
Outdoor Pitches (Football, Cricket, Rugby, Hockey)	£ 31365
Informal recreation space	£ 4590
Village Halls and Community Centre	£ 12780
Swimming pools	£ 4320



Sports Halls	£ 8100
Outdoor other sports pitches (including tennis, bowls, netball and FMGA)	£ 6075
STP	£ 990
Total	£ 82575

### 3. Justification of Need

- 3.1 The Open Space, Sport and Recreation Strategy recognises the need to improve community facilities (i.e community centres/halls etc) in the ward of Stowmarket. There are current projects to provide improvements across the town. There is a need to improve the existing Community Centre at Combs Ford, which includes plans to install solar panels and improve the front entrance area and changing room doors. Cedars Park Community Centre which is relatively new needs some additional storage and Red Gables, which provides office and meeting spaces for community groups are fundraising for extensions and improvements to their buildings, including upgrading the toilet facilities in the main building so they can better serve the growing needs of the community.

Stowmarket Sports and Social Club also provide space for a significant number of community events and activities and they are about to embark on a new project to replace the existing portacabins which are approximately 25 – 30 years old with a more permanent building.

The Guide Hut on the Camping Land is in a poor state of repair and needs to be demolished and rebuilt for which funding is currently being sought.

The John Peel Centre which is a community-based Arts Centre in the old Corn Exchange needs further funding to improve its provision and is currently fundraising to create a storage centre at the rear of the building. The Regal Cinema also has plans for improvements which include upgrading the heating system and adding additional seating to enable more members of the community to use the building at any one time.

There are a number of church halls within Stowmarket that are used by various community groups from the town which are in need of upgrading and refurbishing to cope with the needs of a growing population through new development.

There is a generally recognised shortage of Community Buildings within the town, as identified by consultations for the Stowmarket Community Board and Stowmarket Area Action Plan.

Local sports facilities require investment including at the Bowls Clubs, Football Clubs, Tennis Club, Rugby club, Cricket club and Netball Clubs to ensure they can better serve the growing needs of the community. Both the playing facilities and ancillary facilities including car parking at these sites require investment.

Stowmarket Tennis Club's facilities are good but would benefit from some refurbishment and there are plans to change a grass court to a hard surface and re-surface all the existing courts.

Stowmarket Town Football club have outgrown their current facility and has to hire pitches from surrounding villages and towns for matches and training hence they are looking for a new site within Stowmarket to accommodate their needs and the demand from the growing population of the town through new development.

The Rugby Club which shares their clubhouse with the Cricket Club needs to make improvements to 4 of the 6 changing rooms and there is a need for additional changing

facilities at the club to cope with the growing number of teams. Future plans include much needed additional floodlighting and improvements to the storage facilities.

The Towns Bowls club's will also require green and facility improvements in the future.

All of the Netball Courts within Stowmarket need improving with a number of teams having to look for venues outside of the town to play and train. With all the new development in the area this will exacerbate the current situation with people from the town having nowhere to play.

Major new sports facilities are planned for Stowmarket in the evolving Stowmarket Area Action Plan. Contributions from across the district are being pooled to assist with the financial provision of these new facilities. There is also the proposal to provide a new artificial pitch within the town.

The Sports Hall and swimming pool in Stowmarket will both need replacing in the medium term and funds are currently being collected for this purpose. In any case both facilities will require in the very least significant refurbishment in the future because of age, deterioration and changing demands.

Six strategic Multi-use games Areas (with floodlighting) are proposed based on a sub-district basis. There are existing plans in the Stowmarket sub area for this provision.

There are dedicated accounts to enable contributions to be accumulated to enable the above developments and improvements to be made.

## **EXECUTIVE SUMMARY (extracts from the Needs Assessment)**

### **Playing pitches and other outdoor facilities**

- **Football** - By 2021 there is an estimated requirement for 119 football pitches, comprising 60 senior and youth pitches, 37 junior and 22 mini over the whole district. There is thus a projected shortfall of 26 pitches overall, comprising 27 junior and 2 mini. This can be alleviated by means of new pitch provision in appropriate locations, improvements to existing pitches to ensure more intensive or by bringing school pitches into secured community use.
- **Cricket** - Three additional cricket pitches can be justified to meet future needs, probably in the Stowmarket, Needham Market and Woolpit areas, giving a future pitch requirement of 21 in total. Some pitch and facility improvements are also required throughout the district.
- **Rugby Union** - Pitch provision for rugby union requires 6 pitches in total by 2021, or the equivalent of 2 additional pitches, to be located in Stowmarket, preferably in conjunction with the existing club, and some improvements to ancillary facilities are required.
- **Hockey** - One additional STP capable of accommodating hockey is required up to 2021 in the Stowmarket area, possibly in conjunction with a school site. Significant refurbishment and improvements are necessary to the existing hockey facilities at Weybread.
- **Bowls** - No additional bowls greens are required up to 2012, as the potential demand from the increasing and ageing population is likely to be met at existing greens and clubs. However quality improvements, including the possibility of enhancement of some greens to an all weather surface, are required. All existing greens should be retained to meet additional local need, and development programmes actively promoted, particularly among younger people.
- **Tennis** - To allow clubs to develop juniors, accommodate additional adult members and meet LTA priorities, a further 10 courts are required at existing clubs to 2021. All existing

courts should be retained and where necessary improved and renovated, to permit recreational tennis and allow any casual play generated.

- **Netball**- Changes in demand for additional facilities for netball are unlikely to be significant, but any new facilities required should be provided in conjunction with a network on new FMGAs. No new courts specifically for netball are therefore considered necessary. Some minor quality improvements to existing courts and ancillary facilities are required.
- **FMGAs** - New 2 court FMGAs can be justified in 6 additional locations in the main towns and villages, and single courts should be provided in 9 further smaller villages, and improvements to some existing facilities implemented.

### **Informal recreation space**

- The precise demand for casual informal recreational space in the future is difficult to predict accurately and the future standard based on existing provision throughout the district of 0.6 ha. per 1000 population is proposed. Meaningful provision of informal recreation space requires an area of at least 0.2 has, and it is likely that a development of 300 houses would be necessary to require on-site provision. In most cases therefore, accessible off-site provision is therefore more appropriate, though consideration should be given to the enhancement of existing areas as an alternative to new provision.

### **Play facilities**

- **TOPS and JOPs**: The priorities for new junior and toddlers play facilities are the main settlements of Stowmarket and Needham Market, together with Bacton, Bramford, Claydon and Barham, Elmswell, Eye, Haughley, Thurston, Walsham le Willows and Woolpit..
- **YOPS**: The following settlements are large enough to justify at least one YOP but have no such provision currently: Bacton, Barham, Bramford, Claydon, Debenham, Elmswell, Gt Blakenham, Mendlesham, Stradbroke and Thurston, and enhanced provision should be made in Stowmarket and Needham Market.

### **Built facilities**

- **Sports halls** - by 2021, 7 sports halls, comprising 28 courts, should be available throughout the district to meet the needs of the wider community. These should be located to satisfy demand from existing and future centres of population. A number of possible options are available to meet these requirements:
  - A replacement 6 court hall in Stowmarket or the addition of 2 courts at the existing Mid Suffolk Leisure Centre
  - Formal community use of the five existing halls on High School sites, including any necessary alterations and extensions to encourage and facilitate community use
  - Development of one/two court halls in 2 strategic locations in the rural areas.
 In addition, it must be acknowledged that all the existing centres, which for the most part were built in the 1970s and 80s, will be coming to the end of their useful life by 2021 and will require at the very least significant refurbishment.
- **Swimming pools** – the apparent existing shortfall, coupled with significant population growth in the district, mainly in the larger settlements, suggests that further swimming provision could be justified, subject to more detailed feasibility. A number of options include:
  - Additional water space in Stowmarket, including the replacement of the existing pool by a larger facility
  - One or two new small community pools in strategic locations in the rural parts of the district (e.g. in the west), the A14 corridor (e.g. Needham Market/Claydon or Elmswell) or in conjunction with existing sports facilities on high school sites (e.g. Thurston), subject to formal Community Use Agreements

In addition, as with sports centres, the two existing pools will in any case require significant refurbishment by 2021 because of age, deterioration and changing demands.

- **Indoor bowls** - there are sufficient facilities in Mid Suffolk for indoor bowls now and up to 2021, although a growing and ageing population will increase demand and impose pressures on existing facilities, and there is no allowance made for any development initiatives planned by the centres and governing bodies which could stimulate participation. Over the timescale envisaged there will also be a need to consider refurbishment of both bowls centres.
- **STPs** - in accordance with a local standard of one STP per 30,000 population in Mid Suffolk, there is a shortfall of up to two STPs in the district. The options for future provision therefore include:
  - The provision of an additional STP in the Stowmarket area
  - The possibility, subject to a more detailed feasibility study, of one further STP on a high school site in conjunction with existing sports facilities, and the establishment of a formally adopted Community Use Agreements.
 By 2021 (and indeed well in advance of this) significant refurbishment of the existing STPs at Weybread, including the short-term replacement of the existing sand filled surface, will be necessary.
- **Village/community halls**. Current provision of village halls and community centres in the district is estimated at about 1 hall per 1000 population or the equivalent of 150m<sup>2</sup> per 1000 population. This standard should be adopted for future provision, and used primarily to effect improvements to existing facilities to enable sport and recreation to take place in villages, though new provision might be justified in larger developments.

#### **Future standards of provision**

Future provision of sports and play facilities should be made in accordance with the following standards.

<b>Table 1</b>	
Playing pitches	1.6 ha/1000
Other outdoor sport	0.12 ha/1000
FMGAs	0.04 ha/1000
All outdoor sport	1.76 ha/1000
Informal recreation space	0.6 ha/1000
Play	0.2 ha/1000
Sports halls	0.26 courts/1000
Swimming pools	9.18 m <sup>2</sup> /1000
STPs	0.03 pitches/1000
Village/community halls	150 m <sup>2</sup> /1000

#### **Changes made to tables 2 and 3 of the SPD to account for inflationary increases 2010/11**

<b>Individual dwellings and up to 9 dwellings will contribute to:-</b>			
	<b>M<sup>2</sup> per person</b>	<b>Provision cost £ per m<sup>2</sup></b>	<b>Contribution cost: £ per person</b>
Village Halls and Community Centre	0.15	1,893	284
Swimming pools	0.00919	10,446	96
Sports Halls	0.0395	4,557	180

Outdoor other sports pitches (including tennis, bowls, netball and FMGA)	1.6	84.4	135
STP	0.18	122.2	22
<b>TOTAL CONTRIBUTION PER PERSON</b>			<b>157</b>

The table below shows the additional contributions required per person for developments of 10 or more dwellings (these will be combined with the table above):

Ten or more dwellings will also contribute to :-			
	M <sup>2</sup> per person	Provision cost £ per m <sup>2</sup>	Contribution cost: £ per person
Play Areas	2.0	159.5	319
Outdoor Pitches (Football, Cricket, Rugby, Hockey)	16.0	43.6	697
Informal recreation space	6.0	17	102
<b>ADDITIONAL CONTRIBUTION PER PERSON</b>			<b>1118</b>

#### Community Facilities, Open Space, Sport and Recreation Contributions

	M <sup>2</sup> per person	Provision cost £ per m <sup>2</sup>	Contribution cost: £ per person
Outdoor pitches	16.0	43.6	697
Outdoor other sports facilities	1.6	84.4	135
Children's Play	2.0	159.5	319
Village halls and community centres	0.15	1,893	284
Swimming pools	0.00919	10,446	96
Sports halls	0.0395	4,557	180
STP	0.18	122.2	22
Informal recreation space	6.0	17	102
<b>TOTAL CONTRIBUTION PER PERSON FOR DEVELOPMENTS OF MORE THAN 10 DWELLINGS</b>			<b>1835</b>

Your ref: 2742/14  
Our ref: Stowmarket – land at St Marys Road,  
Kingsmead Road, Kingsmead Close, Lydgate  
Close and Silverdale Avenue  
Date: 08 September 2014  
Enquiries to: Neil McManus  
Tel: 01473 264121 or 07973 640625  
Email: [neil.mcmanus@suffolk.gov.uk](mailto:neil.mcmanus@suffolk.gov.uk)

Ms Elizabeth Truscott,  
Planning Services,  
Mid Suffolk District Council,  
Council Offices,  
131 High Street,  
Needham Market,  
Ipswich,  
Suffolk, IP6 8DL.

Dear Elizabeth,

**Stowmarket: land at St Marys Road, Kingsmead Road, Kingsmead Close, Lydgate Close and Silverdale Avenue – 2742/14 - developer contributions**

I refer to the above planning application for the demolition of 42 dwellings and the erection of 62 dwellings in Stowmarket.

This scheme is for a net increase of 20 dwellings and contributions have been calculated on this basis.

The development falls within the Stowmarket Area Action Plan (SAAP) and it therefore needs to be considered in relation to SAAP Policy 11.1 and Core Strategy Policy CS6 which requires all development to provide for the supporting infrastructure they necessitate. It is considered that the requirements of SCC meet the legal tests set out in paragraph 204 of the National Planning Policy Framework and Regulation 122 of the Community Infrastructure Levy Regulations 2010 (as amended).

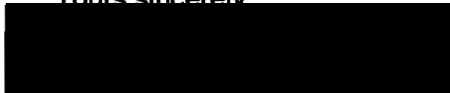
However I would draw attention to the fact that this scheme is part of the Unity Project tranche 2 being delivered by Orbit Homes in partnership with Mid Suffolk which includes similar re-provision schemes in Haughley and Woolpit as well as this scheme in Stowmarket. In view of viability issues it has been agreed that whilst the infrastructure requirements will be separately assessed against each individual scheme there may be an element of cross-subsidy in terms of developer contributions i.e. the Stowmarket scheme application will require mitigation.

In terms of local infrastructure needs there is a need for Mid Suffolk to consider mitigation for early years, primary education, libraries and waste. The adopted Section 106 Developers Guide sets out the approach and can be accessed via the following web-page <http://www.suffolk.gov.uk/environment-and-transport/planning-and-buildings/planning-and-design-advice/planning-obligations/>

- 1. Early years and primary education.** The education provision topic paper sets out the detailed approach to how contributions are calculated and the cost per dwelling is set out in Table 4. In terms of infrastructure across the SAAP there is significant pressure on early years and primary school provision. Against this scheme for a net increase of 20 dwellings we assume that a minimum of 1 early year pupil and 5 primary age pupils will arise. On this basis we would therefore request a contribution of £6,091 for early years and £60,905 (5 places x £12,181 per place) for primary school purposes.
- 2. Libraries.** The libraries and archive infrastructure provision topic paper sets out the detailed approach to how contributions are calculated. A contribution of £216 per dwelling is sought i.e. £4,320, which will be spent on enhancing provision at Stowmarket Library.
- 3. Waste.** The waste disposal facilities topic paper sets out the detailed approach to how contributions are calculated. A contribution of £51 per dwelling is sought i.e. £1,020, which will be spent on enhancing provision in Stowmarket.

I will be grateful if the above can be reported to committee when the application is determined.

Yours sincerely



Neil McManus BSc (Hons) MRICS  
Development Contributions Manager  
Economy Skills & Environment

cc Peter Black, Suffolk County Council  
Jeff Horner, Suffolk County Council

**Strategic Housing Consultation response to application No.2742/14 – The demolition of forty-two dwellings and 10 garages and the erection of 62 affordable dwellings and associated external works and parking**

To: Elizabeth Truscott

From: Julie Abbey-Taylor

Date 12.9.2014

**Key Points.**

1. The Town is the largest market town within the Council's reviewed Core Strategy document, and demonstrates a significant housing need. This site triggers policy HS04 and sits within the existing development boundary for Stowmarket.
2. In this instance the whole of the site is intended for affordable housing provision as the proposal is a redevelopment of the existing sub-standard Council Unity homes and the erection of new homes built to code 3+. The initial decision to proceed with a redevelopment of this site (along with the two other Unity sites) was taken by the Council's Executive Committee in late 2010. The redevelopment of this housing stock has been back to Executive Committee several times since then and its progress has been seen as a corporate priority to deliver.
3. Tranche 1 of the redevelopment already has planning permission and the applicant (Orbit Housing Association) is already on site building the 14 new homes approved in application No. 2279/13 in St. Mary's Road.

**Affordable Housing Needs Assessment.**

4. The proposed mix of new homes has been reached following a detailed analysis of the needs of the existing tenants and owner occupiers on the site and the spread of applicants on the Council's Housing register awaiting rehousing. The priority has been to get the right mix for the existing tenants and our Allocations and Strategic Housing teams have worked closely with Orbit HA to get the right mix of units to meet existing and future housing needs. The type of property in highest need on the housing register is one and two bedroomed units. The type of units most in need for existing tenants is for 2, 3 and 4 bed units – so hence a balance has been struck between the two needs groups. Some of the units will be available for shared ownership purchase to introduce a new tenure into the housing mix in that area.



5. The unit mix proposed in this application is for 62 new homes (which represents a net gain of 20 new homes) consisting of:

4 x 2 bed 3 person bungalows  
10 x 1 bed 2 person houses  
23 x 2 bed 4 person houses  
21 x 3 bed 5 person houses  
4 x 4 bed 6 person houses

The additional 20 new homes on this site in addition to the gain of 10 homes on the site already under construction in Tranche 1 will assist in bridging some of the shortfall of affordable delivery in Stowmarket from developer-led S106 sites that have been recently given permission during the last 9 months.

6. The proposal will improve the parking in the area in that the majority of the parking provision proposes in curtilage parking for most of the homes. This will provide a tangible visual improvement and assist with an improved traffic flow and access for emergency vehicles as at present cars park on the green verges that are part of the public open space and public highway area. The proposal also includes the improvement of public parking adjacent the parade of shops in Wolsey Road to increase capacity in the area.
7. This second tranche of redevelopment is designed to continue on from the Tranche 1 development which is on site, with demolition, if the application is successful being planned for March/April 2015.
8. Of the dwellings included in the demolition schedule – several are already empty. Remaining households in St. Mary's Road and Silverdale Road are being offered alternative housing in either Tranche 1, a new Orbit scheme in nearby St Edmunds Road, Stowmarket or in existing Council stock in the area.
9. Orbit HA submitted this scheme to the Homes & Communities Agency for grant funding in the 2015 – 18 Affordable Homes Programme and at the end of July, Orbit were advised that their grant application had been accepted. Grant levels have generally reduced over the past 10 years and grant rate averages allocated for 2015-18 seem to be in the region of £15k - £20k per unit. The allocation for this scheme is higher than the average in recognition of the higher development costs which include demolition of existing units and the cost of relocating the existing tenants and owner occupiers.
10. Some of the existing properties will not be demolished – mainly owner occupiers that did not wish to be part of the redevelopment. Where existing Council homes adjoin owner occupiers that are not part of the redevelopment – the Council dwellings will be repaired by the Council. Tenants of such

properties have all been visited and advised of the level of repairs and internal improvements.

The Strategic Housing Team have no hesitation in supporting this application and granting of planning permission will end the uncertainty experienced by the existing residents during the past 3 - 4 years.

Regards,

Julie Abbey-Taylor

Corporate Manager – Strategic Housing

NOT PROTECTIVELY MARKED



**Suffolk Fire and Rescue Service**

Fire Business Support Team  
Floor 3, Block 2  
Endeavour House  
8 Russell Road  
Ipswich, Suffolk  
IP1 2BX

Mid Suffolk District Council  
Planning Department  
131 High Street  
Needham Market  
Ipswich  
IP6 8DL

MID SUFFOLK DISTRICT COUNCIL	
PLANNING CONTROL	
RECEIVED	
2 SEP 2014	
ACKNOWLEDGED .....	
DATE .....	
PASS TO .....	

Your Ref: 2742/14  
Our Ref: FS/F225995  
Enquiries to: Angela Kempen  
Direct Line: 01473 260588  
E-mail: Fire.BusinessSupport@suffolk.gov.uk  
Web Address: <http://www.suffolk.gov.uk>

Date: 11/09/2014

Dear Sirs

**Land at St Mary's Road, Kingsmead Road, Kingsmead Close, Lydgate Close and Silverdale Avenue, Stowmarket IP14 1LS**  
**Planning Application No: 2742/14**

I refer to the above application.

The plans have been inspected by the Water Officer who has the following comments to make.

**Access and Fire Fighting Facilities**

Access to buildings for fire appliances and firefighters must meet with the requirements specified in Building Regulations Approved Document B, (Fire Safety), 2006 Edition, incorporating 2010 and 2013 amendments Volume 1 - Part B5, Section 11 dwelling houses, and, similarly, Volume 2, Part B5, Sections 16 and 17 in the case of buildings other than dwelling houses. These requirements may be satisfied with other equivalent standards relating to access for fire fighting, in which case those standards should be quoted in correspondence.

Suffolk Fire and Rescue Service also requires a minimum carrying capacity for hard standing for pumping/high reach appliances of 15/26 tonnes, not 12.5 tonnes as detailed in the Building Regulations 2000 Approved Document B, 2006 Edition, incorporating 2010 and 2013 amendments.

**Water Supplies**

If the existing provided fire hydrant(s) can sustain a minimum outlet discharge of 480 lpm and meets with the requirements specified in Building Regulations Approved Document B, (Fire Safety), 2006 Edition, incorporating 2010 and 2013 amendments, Volume 1 Part B5, Sections 11 dwelling houses, and, similarly, Volume 2, Part B5, Sections 16 and 17, in the case of buildings other than dwelling houses, no new fire hydrants need to be installed in respect of this application.

Continued/

**NOT PROTECTIVELY MARKED**

Suffolk Fire and Rescue Service recommends that proper consideration be given to the potential life safety, economic, environmental and social benefits derived from the provision of an automatic fire sprinkler system. (Please see sprinkler information enclosed with this letter).

Consultation should be made with the Water Authorities to determine flow rates in all cases.

Should you need any further advice or information on access and fire fighting facilities, you are advised to contact your local Building Control in the first instance. For further advice and information regarding water supplies, please contact the Water Officer at the above headquarters.

Yours faithfully



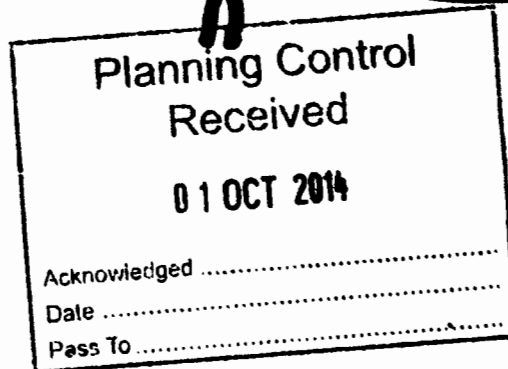
Mrs A Kempen  
Water Officer

Copy: Mr P Dunthorne, The Design Partnership (Ely) Ltd, Claremont House,  
10 Station Road, Chatteris, Cambs PE16 6AG  
Enc: Sprinkler information

# The Stowmarket Society

Planning Services  
Mid Suffolk District Council  
131 High Street  
Needham Market  
IP6 8DL

29 September 2014



Dear Sirs

**2742/14 - DEMOLITION OF FORTY-TWO DWELLINGS AND 10 GARAGES AND ERECTION OF SIXTY-TWO AFFORDABLE DWELLINGS WITH ASSOCIATED EXTERNAL WORKS AND PARKING-LAND AT ST MARYS ROAD KINGSMEAD ROAD KINGSMEAD CLOSE LYDGATE CLOSE AND SILVERDALE AVENUE STOWMARKET**

We will be grateful if you will note the following comments of the Stowmarket Society on this application.

While we find the proposals for the houses and their layout are very prosaic we cannot say it such a poor scheme that we should raise objections on the basis of design. In its current form however, this is clearly a great missed opportunity to transform the character of a fairly featureless part of our town. Consideration of the scheme's dullness does lead to thoughts of other similar developments in our area, and lessons that have failed to be learnt. As Mid Suffolk District Council was a partner in the scheme, you will of course be fully aware of the award winning housing association scheme at Elmswell, which was intended to provide affordable homes designed to be energy-efficient and sustainable, have a high design quality with positive public and private spaces, and to be an example for future developments in the district. It is quite dispiriting to see the example set at Elmswell so soon forgotten, and the usual dreary old stuff continuing to be churned out, especially with the council also being a partner in this scheme.

Within this proposal we do find some specific shortcomings which we think need to be addressed.

Firstly, we cannot see a locally equipped area for play anywhere in the scheme. This is a large project with many family dwellings and well above the normal threshold for provision of an equipped playspace. This part of Stowmarket was developed well before current standards of play space provision were adopted and the shortfall in the area has to be another reason that such a space must be provided.

Secondly, the application presents an opportunity to carry out a comprehensive enhancement of the grassed open space bounded by Wolsey Road, Silverdale Avenue, Kingsmead Road and Lydgate Avenue. This green provides an important public open space at the very heart of this development and needs an imaginative landscaping scheme to realise its full potential. With the increase in housing density resulting from this scheme the importance of the open space is increased. The Stowmarket Society has previously been considering this open space, the possibility of promoting an enhancement scheme and looking for funding through National Lottery and other sources. The application makes a reluctant nod towards enhancement of the space but includes nothing of substance other than planting a few trees and then wrecking the space by carving it up with parking spaces. The parking space proposal has not been thought through and should be abandoned thus restoring the opportunity to make this the attractive open space which the developer should be creating at the heart of their scheme. Wolsey Road is at times very busy and parking along it can be very difficult when the range of take-away stores are open. The proposal to provide parking off one side of the road will only make matters worse as the space required to manoeuvre in and out will prevent any parking along the carriageway, and will effectively reduce the total number of parking spaces available in the street. Or drivers may continue to park on the carriageway as well, and block drivers trying to enter or leave the new parking spaces. Would it not be easier to widen Wolsey Road a little to allow more room for on-carriageway parking on both sides and so make the existing situation much easier? Perhaps making it a one way road would help as well. A little slice of the side of the open space wouldn't hurt too much - and would leave plenty of room for the attractive new landscaping scheme that you should be requiring the developer to implement.



Stowmarket Society



The Stowmarket Society 19 Bond Street Stowmarket IP14 1HR  
A Founder Member of Civic Voice

DO NOT SCALE FROM THIS DRAWING.  
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 ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE STATED.

NOTES



KEY  
 Green Shaded Area  
 Red Shaded Area  
 Yellow Shaded Area  
 Unshaded Area  
 Boundary Line  
 Boundary Number

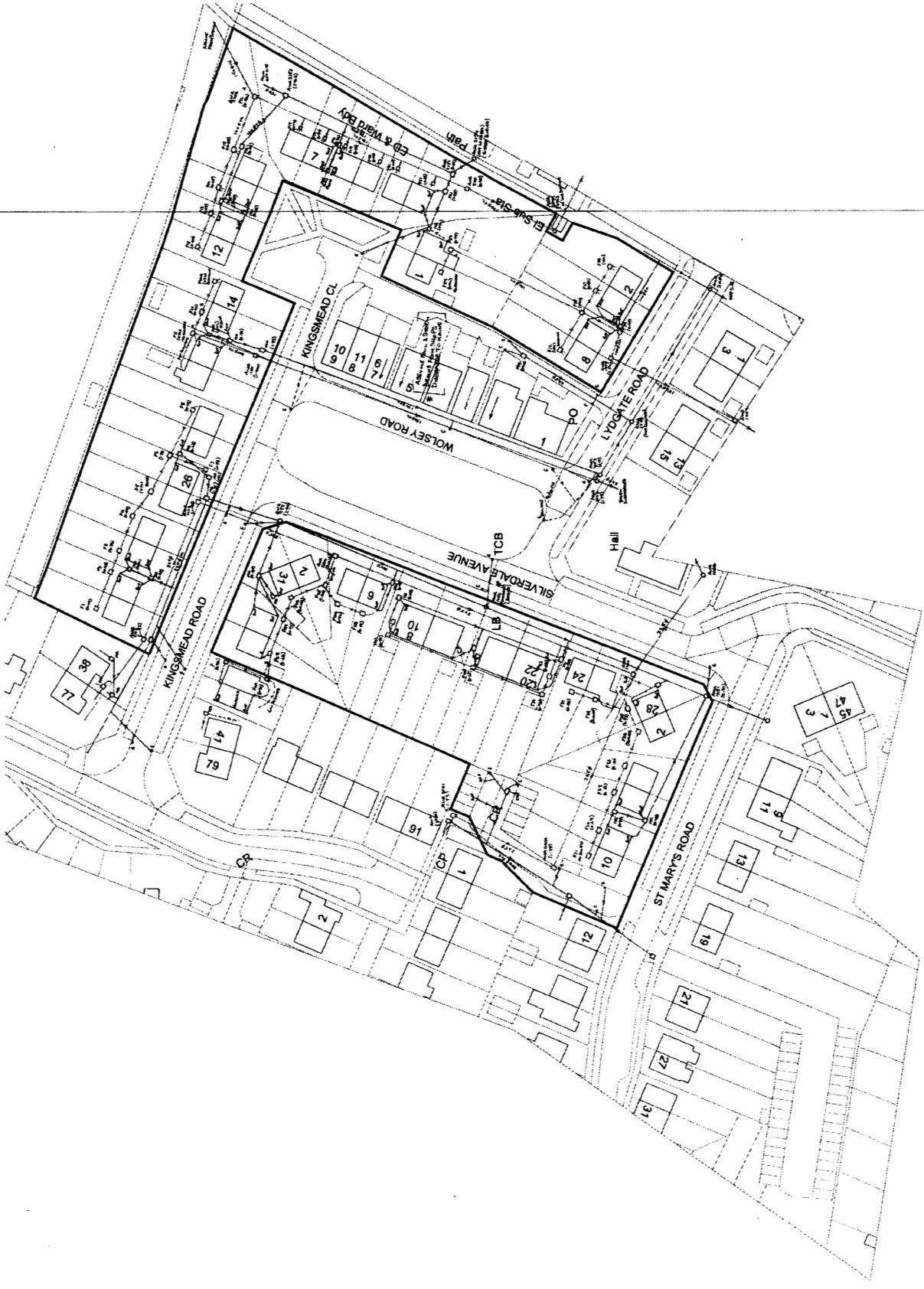
DP/NO. 607  
 CIVIL ENGINEER (REGD) LIA  
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The Design Partnership



Proposed Redevelopment of Unity Housing  
 Silverdale Avenue & Kingsmead Close  
 for Orail Homes  
 TRANCHE 2  
 Location Plan

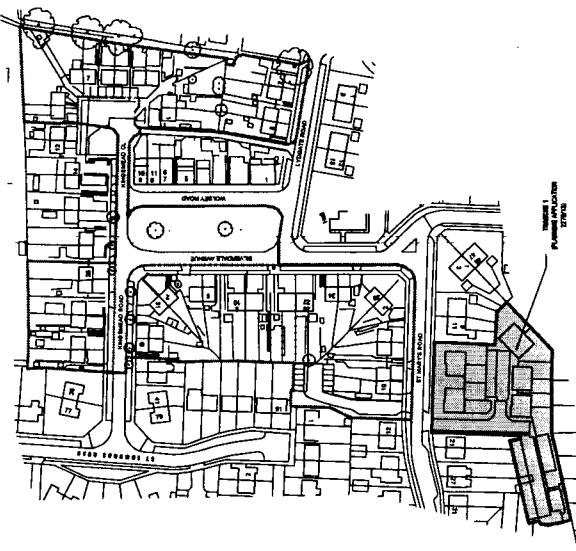
Drawn	18/03/14	Scale	1:500
Checked	18/03/14	Drawn By	18/03/14



BLOCK PLAN

110

DO NOT SCALE FROM THIS DRAWING  
THE GENERAL CONTRACTOR IS TO CHECK ALL DIMENSIONS ON SITE AND  
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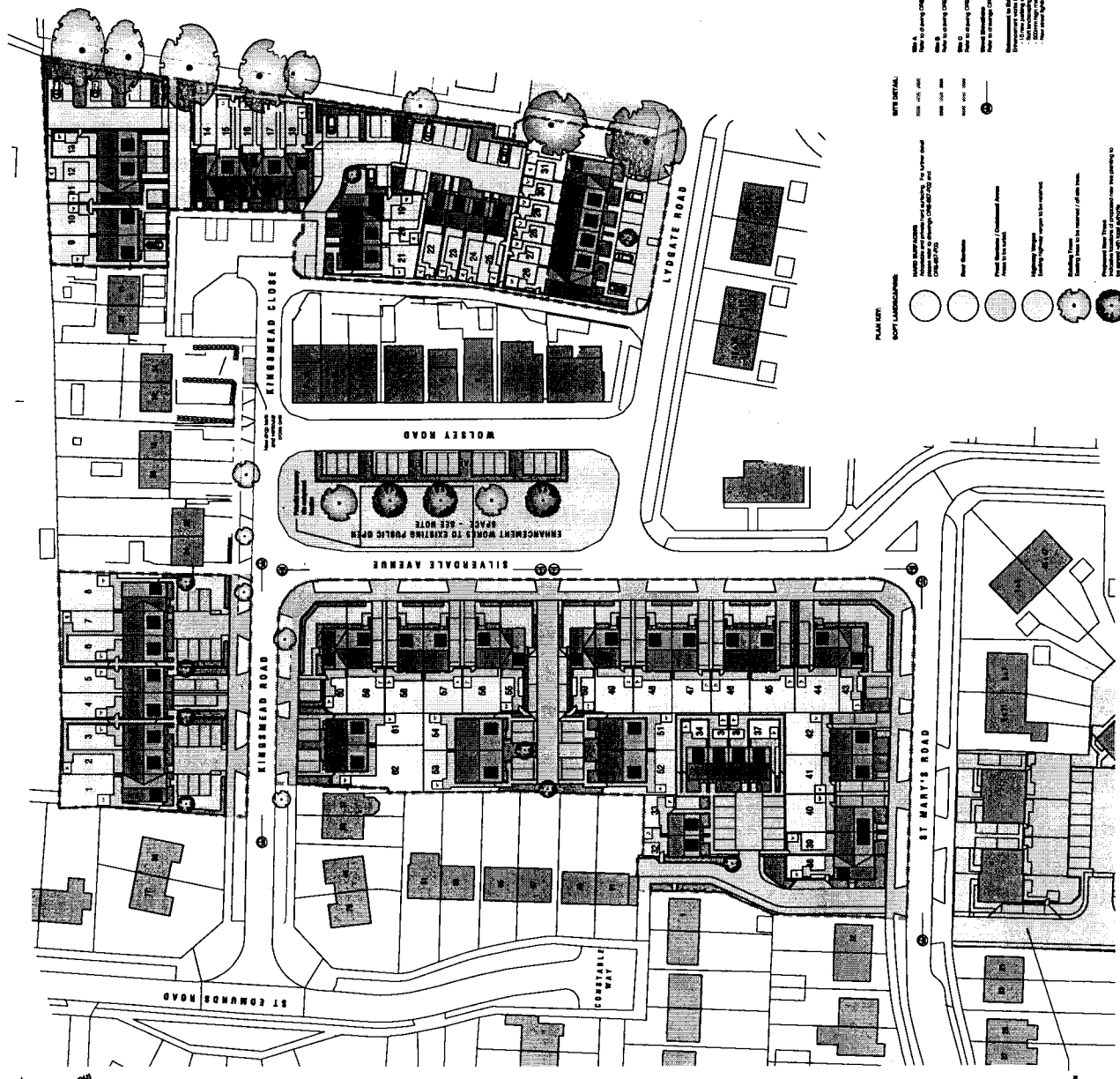


LOCATION PLAN  
Scale: 1:500  
Units: 110

**Development Summary:**

Units	110
1 bedrooms	20
2 bedrooms	40
3 bedrooms	20
4 bedrooms	10
5 bedrooms	20

TOTAL: 110 Dwellings



BLOCK PLAN - Proposed  
Scale: 1:500  
Units: 110

Proposed by:  
P. M. M. ARCHITECTS  
277/777

Site is a former Council house development.  
The development will consist of 110 dwellings.  
The development will include a public open space.  
The development will include a public open space.  
The development will include a public open space.  
The development will include a public open space.  
The development will include a public open space.

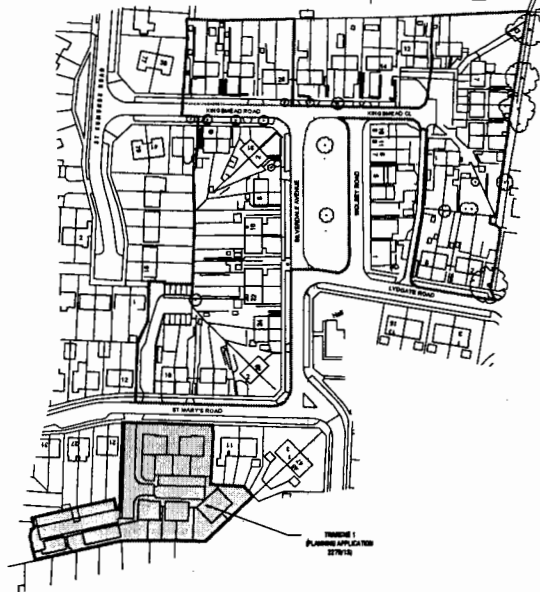
**PLAN KEY**

- Walls and external finishes
- Internal walls and partitions
- Internal doors
- Windows
- Roof
- Ground level
- Level 1
- Level 2
- Level 3
- Level 4
- Level 5
- Level 6
- Level 7
- Level 8
- Level 9
- Level 10
- Level 11
- Level 12
- Level 13
- Level 14
- Level 15
- Level 16
- Level 17
- Level 18
- Level 19
- Level 20

<p>The Design Partnership The Design Partnership 100, The Design Partnership The Design Partnership The Design Partnership</p>	<p>Proposed Development of 110 Dwellings around Wolseley Road, Stormstafel for Orbit Homes</p>
	<p>Job No: 2011/0111 Drawing No: PLANNING SUBMISSION Block Plan &amp; Location Plan</p>
<p>Date: Aug 2011   1:500 @ A1   Scale: 1:500   Title: PLANNING SUBMISSION Block Plan &amp; Location Plan   Job No: 2011/0111   Drawing No: PLANNING SUBMISSION Block Plan &amp; Location Plan</p>	<p>Date: Aug 2011   1:500 @ A1   Scale: 1:500   Title: PLANNING SUBMISSION Block Plan &amp; Location Plan   Job No: 2011/0111   Drawing No: PLANNING SUBMISSION Block Plan &amp; Location Plan</p>



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LOCATION PLAN  
 Scale 1:1250

Development Summary

Development Summary:

House	1 bedroom	2 person	10	Plots 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33
Bungalow	2 bedroom	3 person	4	Plots 34, 35, 36, 37
House	2 bedroom	4 person	25	Plots 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62
House	3 bedroom	5 person	21	Plots 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62
House	4 bedroom	6 person	4	Plots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62
			TOTAL	62 Dwellings

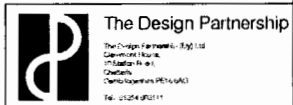
PLAN KEY:

- SOFT LANDSCAPING**
- HARD SURFACES**  
Asphalt and concrete surfacing. For further detail please refer to drawings CRB-657-P02 and CRB-657-P03.
  - Rear Gardens**
  - Front Gardens / Communal Areas**  
Plots to be lifted.
  - Mature Trees**  
Existing trees to be retained / off-site trees.
  - Planting Trees**  
Indicates locations of proposed new tree planting to be agreed with local authority.
  - Soft Landscaping / Planting / Seeding**  
Indicates locations of proposed new shrub / herbaceous planting to be agreed with the Local Planning Authority. Not sufficient to be used where necessary to meet the requirements of English Water.

SITE DETAIL:

- Site A**  
Refer to drawing CRB-657-P02
- Site B**  
Refer to drawing CRB-657-P03
- Site C**  
Refer to drawing CRB-657-P04
- Street Drainage**  
Refer to drawings CRB-657-P11 & CRB-657-P12
- Drainage**  
Drainage to be agreed with local authority.
- 1.5m Clearing Space**  
Soft landscaping, planting, shrubs and new trees.
- 600mm High Kerb and 100mm High Kerb**  
New street lighting and road signs.

BLOCK PLAN - Proposed  
 Scale 1:500



The Design Partnership  
 The Design Partnership - 3rd Floor  
 Capenhurst Road,  
 175 Castle Road,  
 Chesham,  
 Buckinghamshire (HP8 4NR)  
 Tel: 01294 450111

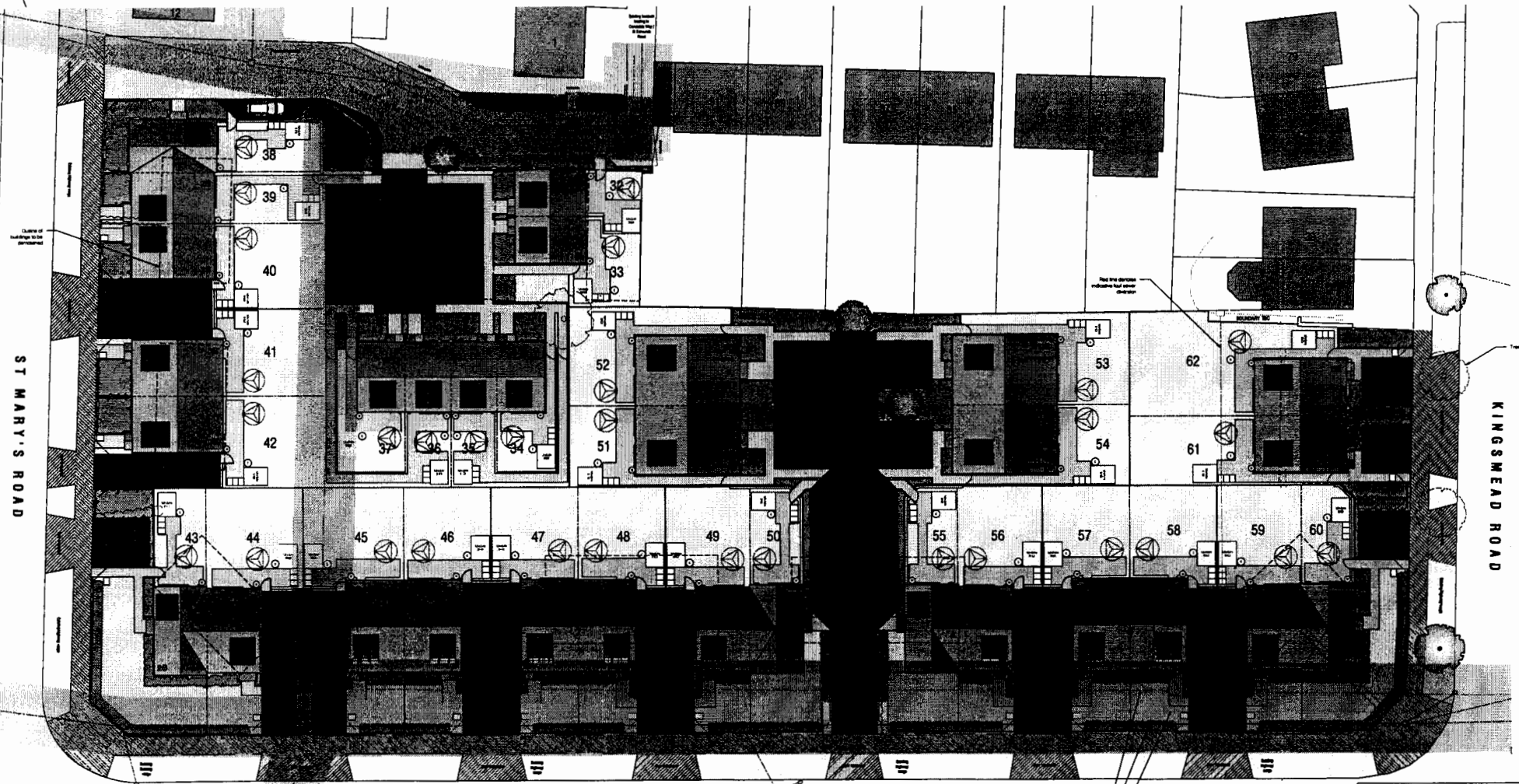
Job Title  
 Proposed Development of 62 Dwellings around  
 Wolley Road, Stowmarket for  
 Orbit Homes

Drawing Title  
 PLANNING SUBMISSION  
 Block Plan & Location Plan

Date	Scale	Drawn	Check	Drawn	Rev
Aug 2014	1:500 @ A1	GL		CRB-657-P01	



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ST MARY'S ROAD

KINGSMead ROAD

SILVERDALE AVENUE

**SITE PLAN (SITE A)**

Scale 1:200

**PLAN KEY:**

- SURFACES:**
- Proposed Asphaltic Drive Drives  
10mm coarse cover conforming to Austroads standards to standard of Public Works Council Highway Department
  - Building Asphaltic Footpaths and Car Drives  
Existing asphaltic footpaths and car drives
  - Proposed Pavable Roads and Footpaths  
10mm coarse cover conforming to Austroads standards to standard of Public Works Council Highway Department
  - Blank Paved Road and Parking Space  
Blank paved road to be formed with 100mm concrete surface. Date, type and colour of block to be approved by local planning authority

- Blank Paved Footpath Road and Footpaths  
Concrete block paving laid in 40° herringbone pattern. Colour and type of block to be approved by local planning authority
- Paved Paths / Paths to Driveways  
As per 10mm coarse asphaltic road, but with 100mm concrete surface to be formed with 100mm concrete paving stones to be approved by local planning authority
- Blank Lighting  
Blank lighting to be designed by the lighting engineer in accordance with BS 5489 to approval of the Professional Council Office and local planning authority
- Drainage  
Drainage to be approved

**SOFT LANDSCAPING:**

- Plant Selection
- Plant Selection / Ornamental Areas  
Areas to be laid
- Highway Verges  
Existing highway verges
- Planting Trees  
Existing trees to be retained / left alone

- Proposed Plant Trees  
Indicate location of proposed new tree planting to be agreed with local authority
- Plant Landscaping / Planting  
Indicate location of proposed new shrub / Perennials planting to be agreed with the Local Planning Authority. Plant names to be used where necessary to meet the requirements of the local authority
- Planting Trees  
Indicate location of proposed new tree planting to be agreed with local authority. Plant names to be used where necessary to meet the requirements of the local authority
- Planting Trees  
Existing trees to be retained / left alone

**BOUNDARY TREATMENTS:**

- 1.5m Fence with 100mm Traffic Toppling  
1.5m high stone faced fence on concrete posts with 100mm traffic toppling and 100mm concrete base. Maximum height 1.5m. Spacing of posts to be agreed with local authority.
- 1.5m Fence  
1.5m high stone faced fence on concrete posts. Maximum height 1.5m. Spacing of posts to be agreed with local authority. Where gates are used with a combination lock with a chain spring.
- Blank Paved Paths  
1.5m high stone faced fence on concrete posts.
- Blank Paved Paths  
1.5m high stone faced fence on concrete posts.

**GARDENS:**

- Blank  
Blank garden area on solid base with surface drainage for minimum 2% slope and 10% area of soil storage.
- Blank / Paved  
Proposed location of existing lawn / lawn replacement.
- Water Drain  
Proposed location of 200mm water drain.
- Blank  
Proposed location of 200mm water drain.
- Blank  
Indicate location of existing drains area.

Revisions	Date	Amendments
A	Aug 14	Final Trees removed following highways comments

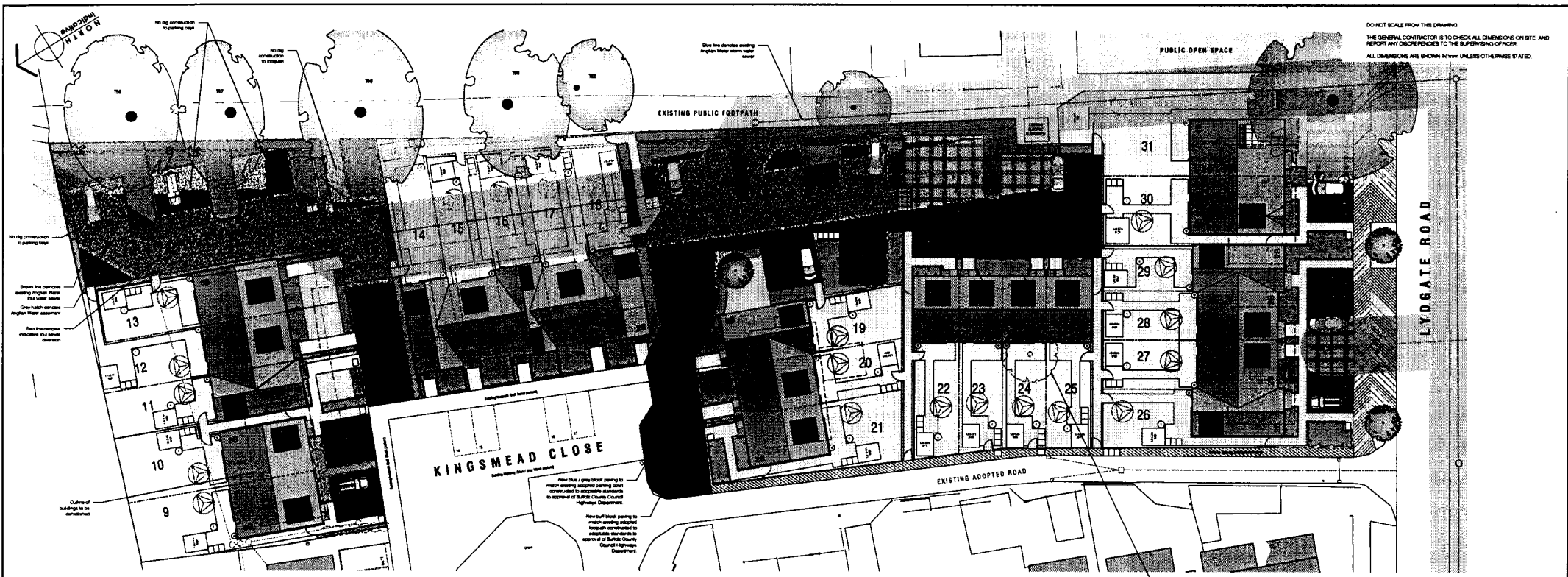
**The Design Partnership**  
 The Design Partnership (Pty) Ltd  
 10 Dixon Road,  
 Chalfont  
 Chalfont St Giles, Bucks HP8 4JG  
 Tel: 01494 473111

Job Title  
**Proposed Development of 62 Dwellings around Wolesley Road, Stowmarket for Orbit Homes**

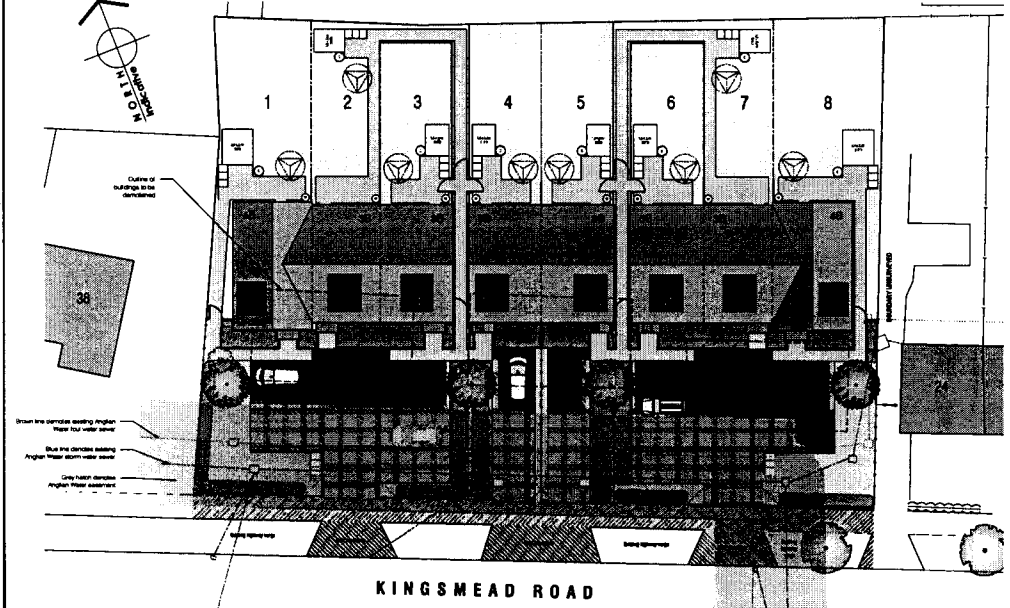
Drawing Title  
**PLANNING SUBMISSION Site Plan - Site A**

Date	Scale	Drawn	Check	Rev
Aug 2014	1:200 @ A1	GL	ORB-657-P02	A

112



SITE PLAN (SITE B)



SITE PLAN (SITE C)

PLAN KEY:

SURFACING

- Proposed Asphaltic Drive Drives  
Form areas are provided to adequate standards to approval of Sturton County Council Highway Department
- Existing Asphaltic Footpaths and Drive Drives  
Existing adopted footpaths and drive drives
- Proposed Private Roads and Footpaths  
Construction surfacing systems roads and footpaths where shown. Footpaths to be approved from Council and local highway authority. Type and colour of block to be approved by local planning authority.
- Stone Paved Shared Drives and Parking Bays  
Stone paving to be laid in 60° herringbone pattern. Colour of paving area to be approved from Council and local highway authority. Type and colour of block to be approved by local planning authority.
- Stone Paved Trenching Areas and Footpaths  
Colouring block paving to be laid in 60° herringbone pattern. Colour of paving area to be approved from Council and local highway authority. Type and colour of block to be approved by local planning authority.
- Private Paths / Paths to Driveways  
All paths to be constructed to standards approved by Sturton of Sturton County Highway Department. Footpaths to be approved from Council and local highway authority.
- External Lighting  
General lighting to be designed by the lighting engineer in accordance with BS 5489 to approval of the Professional Lighting Officer and local planning authority.
- Disabled Buildings to be determined

SOFT LANDSCAPING

- Road Gardens
- Private Gardens / Driveway Areas  
Areas to be laid out.
- Highway Margins  
Existing highway margins
- Existing Trees  
Existing trees to be retained / set back
- Proposed New Trees  
Indicates location of proposed new trees planting to be agreed with local authority.
- Soft Landscaping / Planting  
Indicates location of proposed new shrub / herbaceous planting to be agreed with the Local Planning Authority. Plant barriers to be used where necessary to meet the requirements of English law.
- Hedge Planting  
Indicates location of proposed new hedge planting to be agreed with local Planning Authority. Plant barriers to be used where necessary to meet the requirements of English law.
- Trees to be Felled  
Existing trees to be felled

BOUNDARY TREATMENTS

- 1.5m Poles with 600mm Traffic Topping  
1.2m high stone topped fence or concrete posts with 600mm traffic topping. Existing gateposts where indicated to be retained by Design consultation with a minimum clear width of 500mm.
- 1.8m Posts  
1.2m high tapered fence on concrete posts. Existing gateposts where indicated to be retained by Design consultation with a minimum clear width of 500mm. Stone gates to be fixed with a combination lock with a return spring.
- Stone Wall Posts  
Tapered 400mm high stone wall posts.
- Vertical Paving  
1.2m high vertical paving.

GAZONS

- Block Turf  
Block garden shed of solid base with block storage to support 2 cycles and 1st area of turf storage.
- Silt / Erosion Control  
Proposed location of external drain / silt control system.
- Water Butt  
Proposed location of 210 litre water butt.
- Compost Bin  
Proposed location of 200 litre compost bin.
- Garden Area  
Indicates location of newly created area.

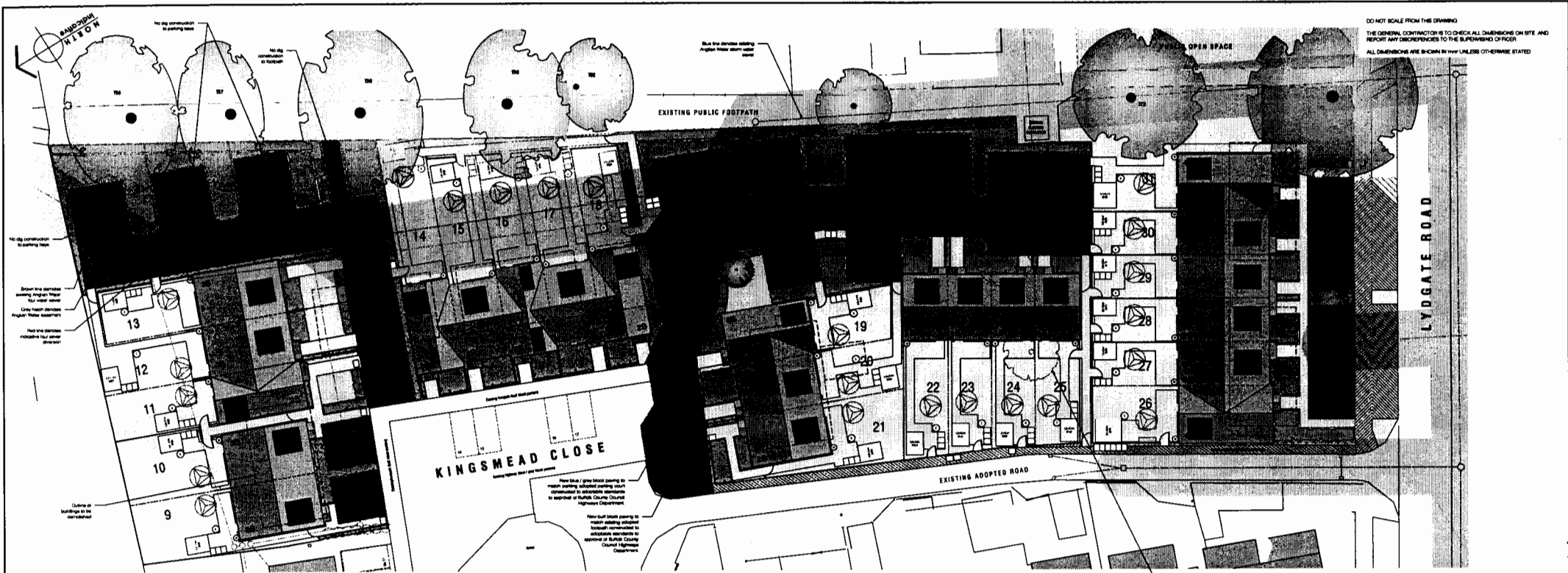
**The Design Partnership**  
 The Design Partnership Ltd  
 150 Gifford Road  
 Edinburgh EH10 4JG  
 Tel: 01274 979111

Job Title  
**Proposed Development of 62 Dwellings around Wolsley Road, Stowmarket for Orbit Homes**

Drawing Title  
**PLANNING SUBMISSION Site Plan - Sites B & C**

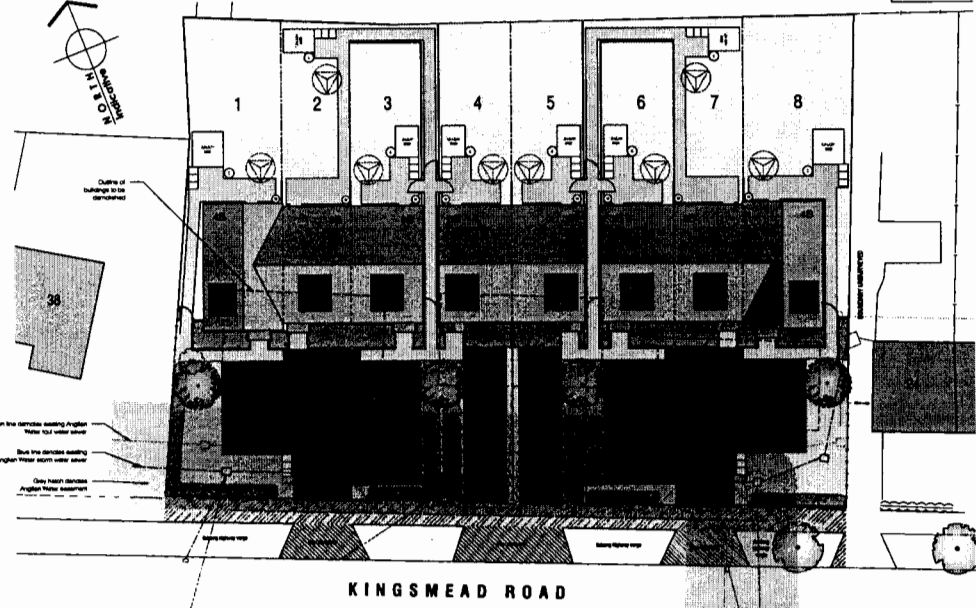
Date	Scale	Drawn	Drawn No.	Rev.
Aug 2014	1:500 @ A1	GL	013-657-P03	

113



DO NOT SCALE FROM THIS DRAWING  
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 ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE STATED

SITE PLAN (SITE B)



SITE PLAN

PLAN KEY:

SURFACES:

- Proposed Adoptable Green Open  
Tarmac cross drains constructed to acceptable standards to approval of British Council County Highways Department.
- Existing Adoptable Pavement and Green Open  
Existing adopted footpaths and green open.
- Proposed Paved Areas and Footpaths  
Tarmac paving to be laid to 100mm aggregate sub-base with 100mm concrete top layer to form vehicle run over.
- Blue Paved Areas and Footpaths  
Blue paving to be laid to 100mm aggregate sub-base with 100mm concrete top layer to form vehicle run over.
- Blue Paved Areas and Footpaths  
Blue paving to be laid to 100mm aggregate sub-base with 100mm concrete top layer to form vehicle run over.
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- Blue Paved Areas and Footpaths  
Blue paving to be laid to 100mm aggregate sub-base with 100mm concrete top layer to form vehicle run over.

SOFT LANDSCAPING:

- Rear Gardens
- Front Gardens / Courtyard Areas  
Areas to be defined.
- Highway Verges  
Grass verge adjacent to highway.
- Existing Trees  
Existing trees to be retained / off site trees.
- Proposed New Trees  
Indicates location of proposed new trees planting to be agreed with local authority.
- Soft Landscaping / Paving  
Indicates location of proposed new shrub / subsoil paving to be agreed with the Local Planning Authority. Root barriers to be used where necessary to meet the requirements of English Water.
- Hedge Planting  
Indicates location of proposed new hedge planting to be agreed with Local Planning Authority. Root barriers to be used where necessary to meet the requirements of English Water.
- Trees to be Planted  
Existing trees to be defined.

BOUNDARY FINISHES:

- 1.5m Fence with Electric Traffic Toppling  
1.5m high chain linked fence on concrete posts with 200mm electric traffic toppling. Existing electric gates where indicated to be replaced by Design Specification with a minimum clear width of 900mm.
- 1.5m Fence  
1.5m chain linked fence on concrete posts. Existing electric gates may be replaced by Design Specification with a minimum clear width of 900mm. Design gates to be fixed with a connection lock with a return spring.
- Stone Wall  
Treated 450mm high brick of face.
- Vertical Pathway  
1.2m high vertical slats.

GAZONS:

- Grass  
100mm lawn on subsoil base with stone drainage for minimum 20mm depth and 100mm area of soil drainage.
- Grass / Paving  
Proposed location of subsoil base / rain collection points.
- Water Drain  
Proposed location of 200mm water out.
- Proposed Site of 200mm Compaction Layer
- Existing Area of Mature Grass

Revision	Date	Amendment
A	Oct 14	Amendments following Highways & Tree Officer's Comments

**The Design Partnership**  
 The Design Partnership Ltd  
 Chesham Hill House  
 10, St Pauls Road  
 Chesham  
 Bucks HP8 4JY  
 Tel: 01494 651111

Job Title  
**Proposed Development of 62 Dwellings around Wolsley Road, Stowmarket for Orbit Homes**

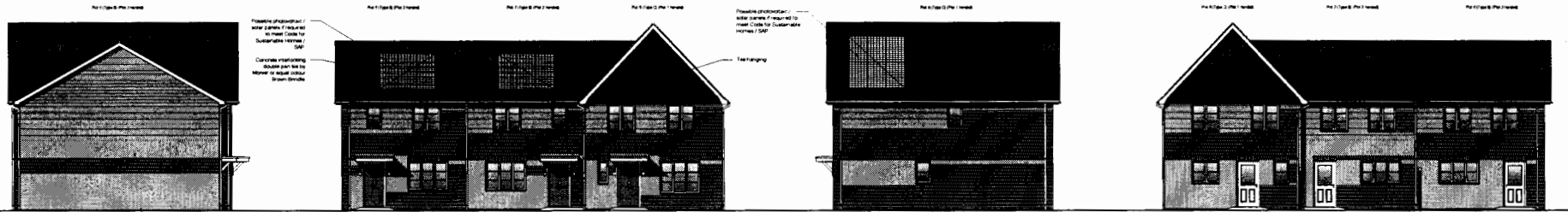
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Date	Scale	Drawn	Drawn No.	Check	Check No.
Aug 2014	1:500 @ A1	GL	CRB-657-P03		A

114



DATE: 11/24/14  
 THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE SUBMITTING ARCHITECT.  
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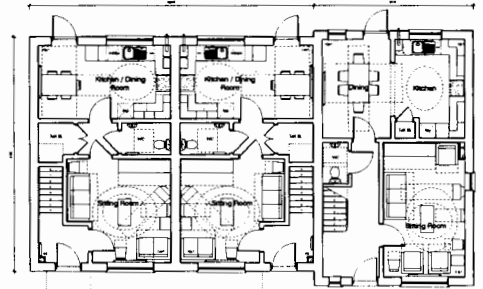
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 PLOTS - 1-3 (Plots 1-3 handed)



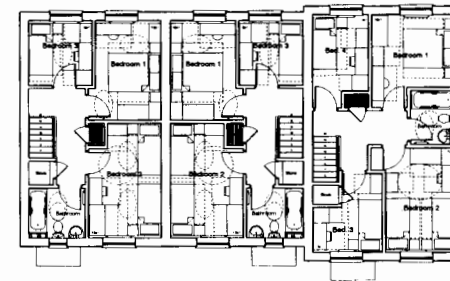
Front Elevation

Side Elevation

Rear Elevation



Ground Floor Plan  
 PLOTS - 1-3 (Plots 1-3 handed)

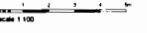


First Floor Plan

- Materials**
- Roof Tiles: As indicated
  - Brick: Full brick hand made to approval of local authority
  - Render: Through coloured render. Where Flat or sloped, render to be agreed with local authority
  - The cladding: Plain structure indicated to approval of local authority
  - Windows: White PVCU with double glazing. Dark head, internal and external. Frames set back from wall face to provide 20mm deep reveal
  - Window frames: Solid timber
  - Doors: G3 or solid composite door to Decorum by Design specification
  - Porches: Flat roof with lead covering or pitched roof with plain tile roof covering in line to appear with the roof covering. The roof frame appears to have a glass roof. PVCU frames and sashes
  - Facades and Gables: White PVCU



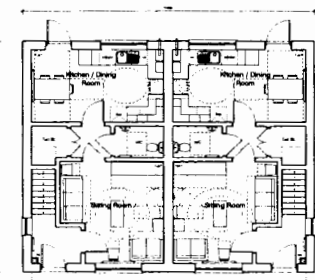
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 PLOTS - 4-10, 45-48 & 57-58



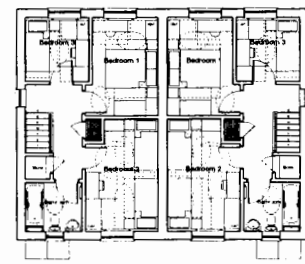
Front Elevation

Side Elevation

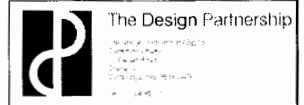
Rear Elevation



Ground Floor Plan  
 PLOTS - 4-10, 45-48 & 57-58



First Floor Plan



Proposed Development of 62 Dwellings around Wotsley Road, Stowmarket for Orbit Homes

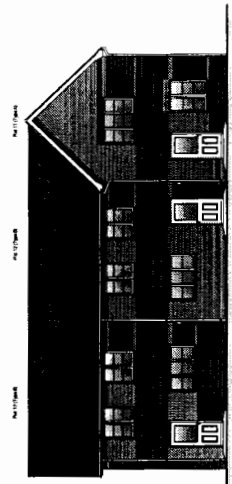
PLANNING SUBMISSION  
 Plans and Elevations  
 Plots 1-3, 6-10, 45-48 & 57-58

Date	Scale	Drawn	Drawn No.	Rev
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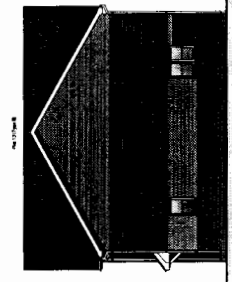
115

1. ALL DIMENSIONS ARE IN METERS.  
 2. THE ARCHITECTURAL ELEVATIONS, FLOOR PLANS AND  
 SECTION DRAWINGS ARE TO BE CONSIDERED AS THE ONLY  
 AUTHORITY FOR THE DESIGN OF THE PROPOSED DEVELOPMENT.  
 ALL DIMENSIONS ARE TO BE TAKEN FROM THE EXTERIOR FACE

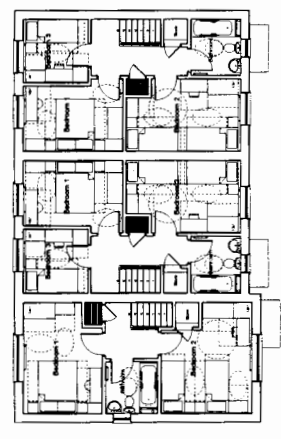
- Materials**
- Roof: Dark grey asphalt shingles.
  - Exterior walls: Light grey brick with dark grey mortar.
  - Windows: White frames with dark grey shutters.
  - Doors: Dark grey with white transoms.
  - Siding: Dark grey horizontal lap siding.
  - Trim: White.
  - Gutters: Dark grey.
  - Landscaping: Mature trees and shrubs.
  - Driveway: Dark grey asphalt.
  - Foundation: Dark grey concrete.
  - Stairs: Dark grey wood.
  - Decking: Dark grey composite decking.
  - Fencing: Dark grey vinyl.
  - Lighting: Modern outdoor lighting.
  - Pool: Dark grey pool with light grey coping.
  - Pool deck: Dark grey composite decking.
  - Pool house: Dark grey with white trim.
  - Pool house roof: Dark grey asphalt shingles.
  - Pool house walls: Dark grey brick with dark grey mortar.
  - Pool house windows: White frames with dark grey shutters.
  - Pool house doors: Dark grey with white transoms.
  - Pool house siding: Dark grey horizontal lap siding.
  - Pool house trim: White.
  - Pool house gutters: Dark grey.
  - Pool house landscaping: Mature trees and shrubs.
  - Pool house driveway: Dark grey asphalt.
  - Pool house foundation: Dark grey concrete.
  - Pool house stairs: Dark grey wood.
  - Pool house decking: Dark grey composite decking.
  - Pool house lighting: Modern outdoor lighting.



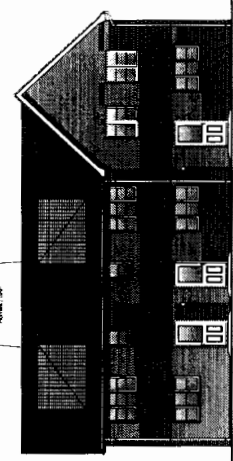
Rear Elevation



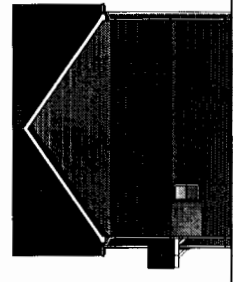
Side Elevation



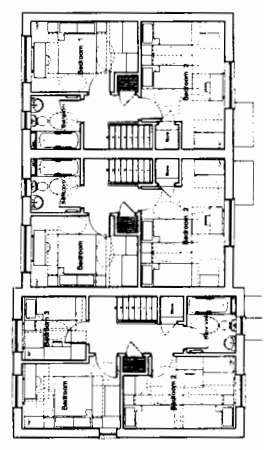
First Floor Plan



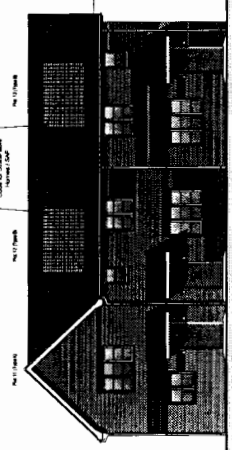
Rear Elevation



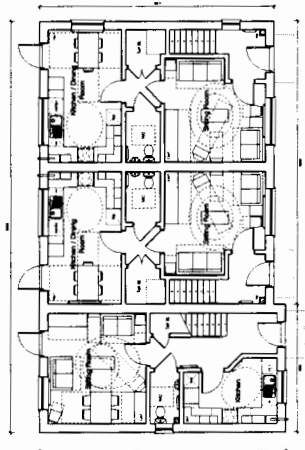
Side Elevation



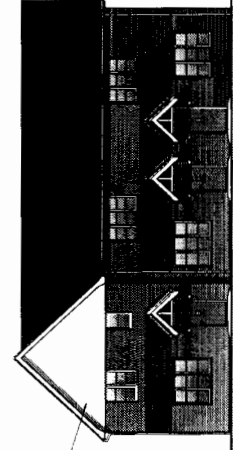
First Floor Plan



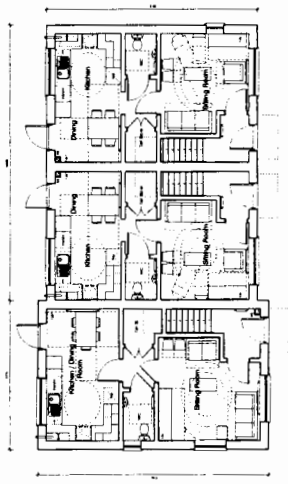
Front Elevation



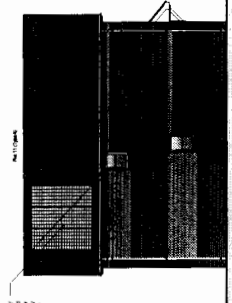
Ground Floor Plan



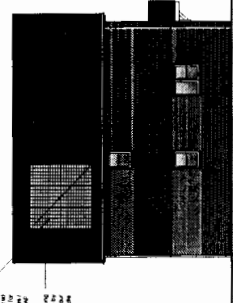
Front Elevation



Ground Floor Plan



Side Elevation



Side Elevation

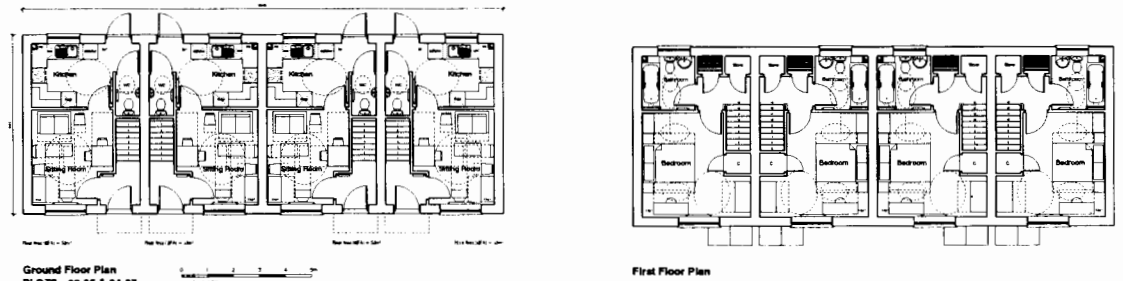
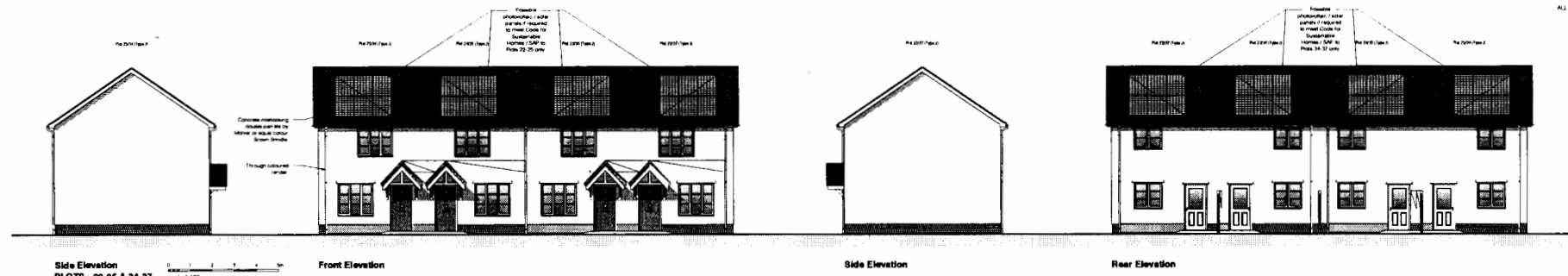
**The Design Partnership**  
 10000 Woodloch Forest Blvd  
 Suite 100  
 Columbus, Ohio 43240  
 Tel: 614.291.1447

Proposed Development of 62 Dwellings around  
 Woiskey Road, Stowmarket for  
 Orbit Homes

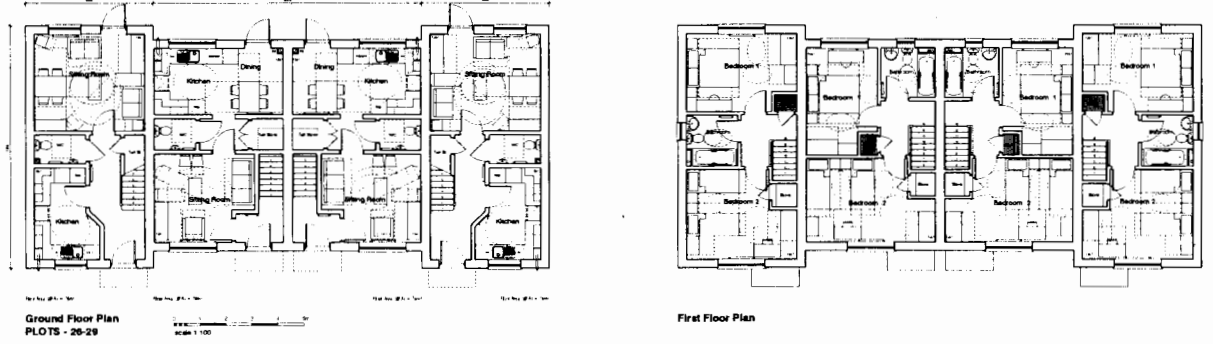
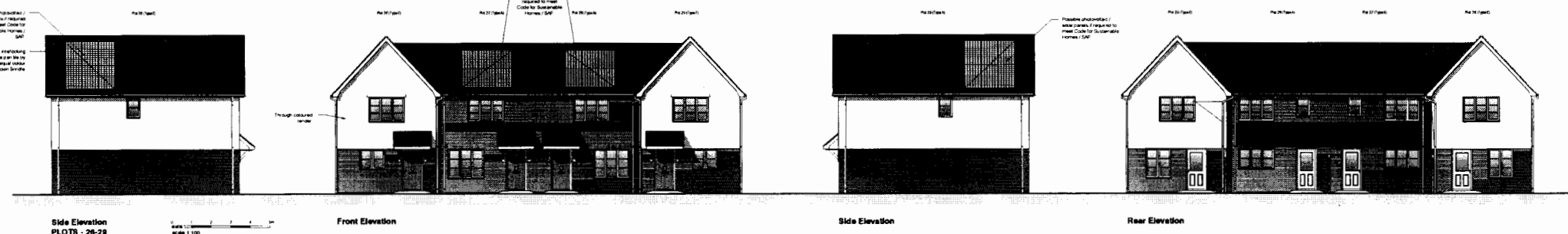
PLANNING SUBMISSION  
 Plans and Elevations  
 PLOTS 11-13 & 19-21

Date: Aug 2014  
 Scale: 1:100 (E.A.T.)  
 Drawn: TW  
 No: CHB-657-P05

THIS IS A PRELIMINARY DRAWING  
 THE DESIGN PARTNERSHIP WILL CHECK ALL DIMENSIONS, BUT NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.  
 ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE STATED.



- Materials**
- Roof Tiles as indicated
  - Block walls to be built to standard of local authority
  - Render - Through coloured render. Render to be installed to be agreed with local authority
  - Timbering - Where indicated to be installed to approval of local authority
  - Windows - UPVC with double glazing bars. Intercom and external. If frames will be dark, then to provide 30mm clear glass
  - Windows - Solid timber sash to provide 30mm clear glass
  - Doors - UPVC or solid composite door to be agreed by Design Partnership
  - Roofing - Flat roof with lead covering or pitched roof with plain tile roof covering or tiled roof with plain tile roof covering. Flat roof to be covered with 100mm EPS insulation and 150mm concrete and 100mm EPS insulation. Pitched roof to be covered with 100mm EPS insulation and 150mm concrete and 100mm EPS insulation.



**The Design Partnership**  
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 15, South Street  
 Stowmarket, Suffolk  
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 Tel: 01449 511111  
 Fax: 01449 511112  
 Email: info@designpartnership.co.uk

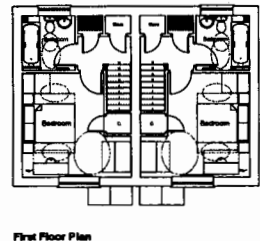
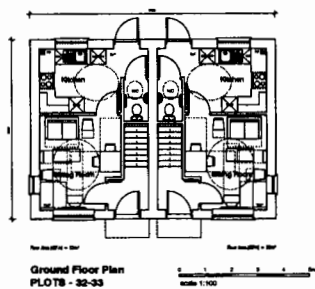
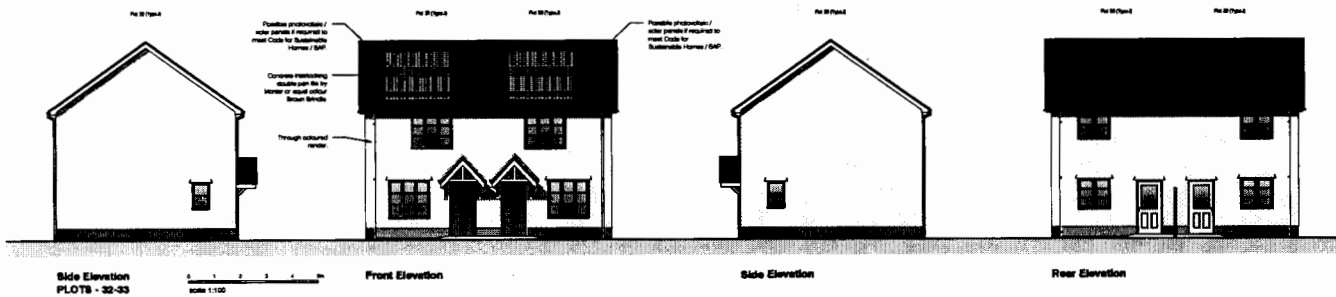
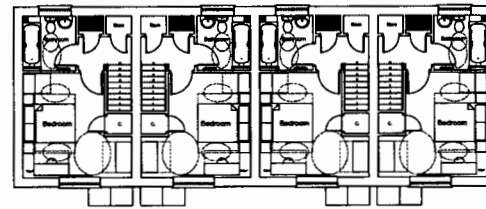
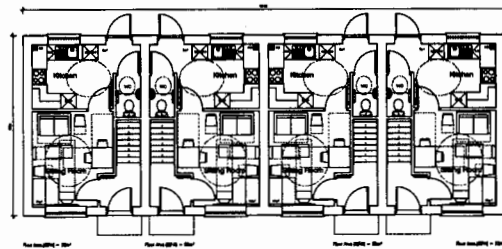
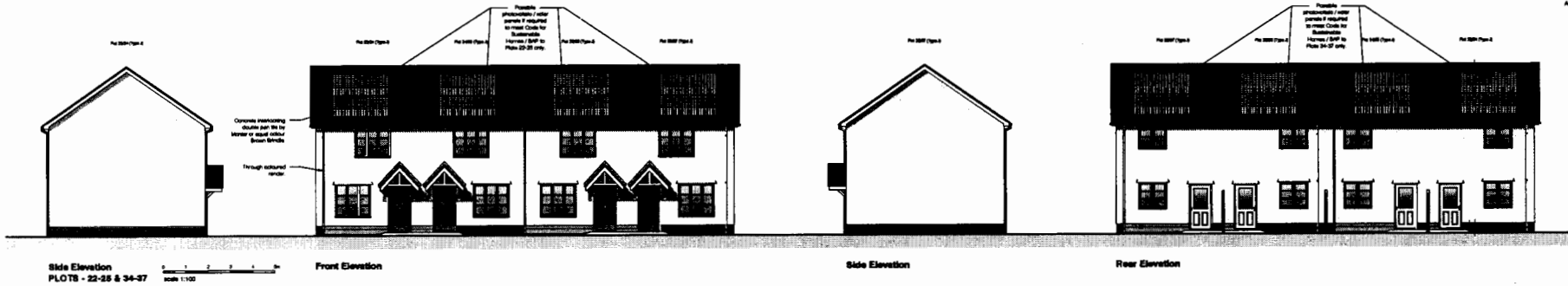
Job Title  
**Proposed Development of 62 Dwellings around  
 Woitley Road, Stowmarket for  
 Orbit Homes**

Drawing Title  
**PLANNING SUBMISSION  
 Plans and Elevations  
 Plots 22-29 & 34-37**

Date	Scale	Drawn	Check	Design No.	Rev
Aug 2014	1:100 & A1	rw		ORB-657-P06	

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 ALL DIMENSIONS ARE SHOWN IN METRES UNLESS OTHERWISE STATED



- Materials**
- Roof Tiles - as indicated
  - Brick - Portland being laid to approval of local authority
  - Concrete - Through concrete cover. Where flat or sloped, cover to be agreed with local authority
  - The masonry - Plain face unless indicated to approval of local authority
  - Windows - Double PVCu with applied glazing bars, heat insulated and operable. Frames set back from wall face to provide 100mm deep reveal
  - Window Sills - Brick or stone
  - Doors - 1300 or solid composite door to be fixed by Design approved
  - Pitches - Flat roof with lead covering or pitched roof with plain tile roof covering or lead to pitch with plain tile roof covering. Pitches shall be given a minimum of 10% slope. PVCu fascias and soffits. Rainwater pipes - 100mm PVCu

Revisions			
Rev	Date	Amendments	
A	Oct 14	Working layout rearranged	



**The Design Partnership**  
 The Design Partnership (DP) Ltd  
 10 St John Road,  
 Chelmsford,  
 Essex  
 CM1 1JL  
 Tel: 01274 993111

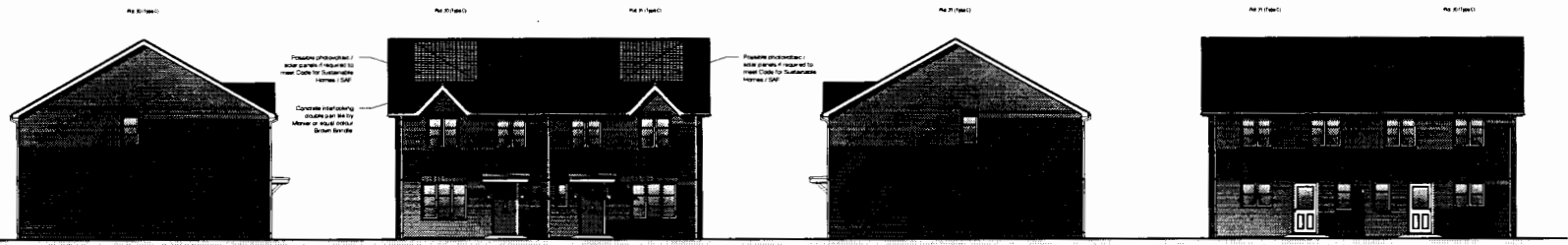
Job Title  
**Proposed Development of 62 Dwellings around Wolsley Road, Stowmarket for Orbit Homes**

Drawing Title  
**PLANNING SUBMISSION  
 Plans and Elevations  
 Plots 22-25 & 32-37**

Date	Scale	Drawn	Check	Drawn	Rev
Aug 2014	1:100@A1			rw	A

118



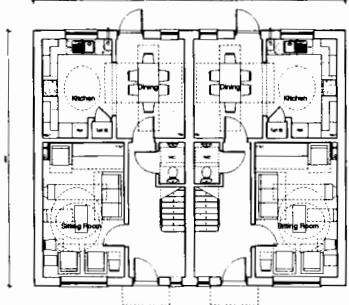


Side Elevation  
PLOTS - 30-31  
Scale 1:100

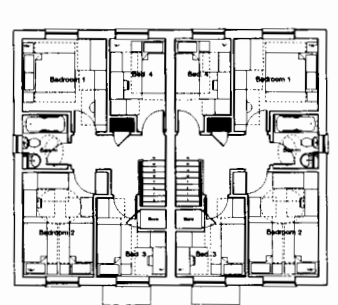
Front Elevation  
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Side Elevation  
Scale 1:100

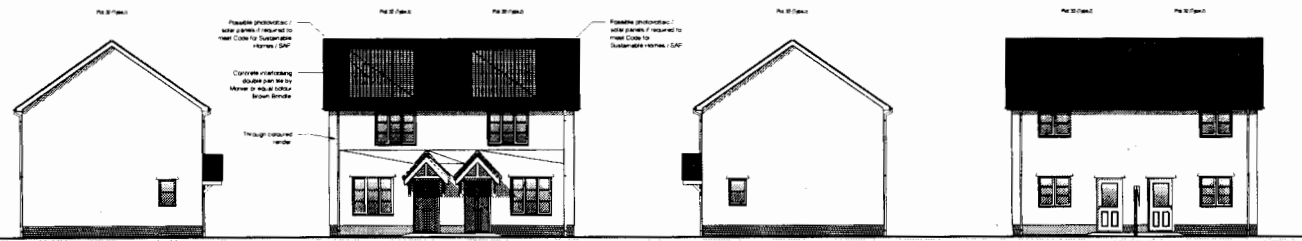
Rear Elevation  
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Ground Floor Plan  
PLOTS - 30-31  
Scale 1:100



First Floor Plan  
Scale 1:100

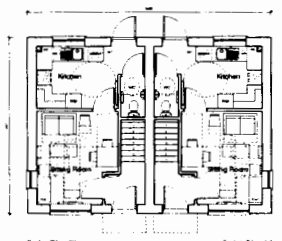


Side Elevation  
PLOTS - 32-33  
Scale 1:100

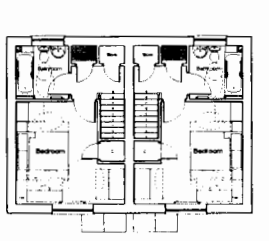
Front Elevation  
Scale 1:100

Side Elevation  
Scale 1:100

Rear Elevation  
Scale 1:100



Ground Floor Plan  
PLOTS - 32-33  
Scale 1:100



First Floor Plan  
Scale 1:100

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CONTRACTOR'S OBLIGATION TO THE CLIENT AND TO THE LOCAL AUTHORITY IN ALL MATTERS CONCERNING THE SUBMISSION AND ALL DIMENSIONS ARE GIVEN IN METERS UNLESS OTHERWISE STATED

**NOTES**

**Materials**

- Roof Tiles: As indicated
- Brick: Through coloured render. Where Flat or where subject to approval of local authority
- Cladding: Where PVCU with applied glazing bars, head, intermediate and base rails. Frames and sills from steel. Head to provide 30mm clear level
- Window frames: Solid Core
- Doors: G3 or equal composite door to be fixed by Design approved
- Porches: Flat roof with head coping or gabled roof with up to the eave sloping gables to provide adequate roof overhang. Gables to be gables brackets / gable truss PVCU frames and soffits
- Fences and gates: Where PVCU

**The Design Partnership**  
 Design Partnership  
 100, The Quadrant  
 Stowmarket, Suffolk  
 IP11 1JF  
 Tel: 01449 211111

File Name  
**Proposed Development of 62 Dwellings around Wolsley Road, Stowmarket for Orbit Homes**

Drawing Title  
**PLANNING SUBMISSION  
 Plans and Elevations  
 Plots 30-33**

Date	Scale	Drawn	Check	Rev
Aug 2014	1:100@A1	rw	ORB-657-P07	

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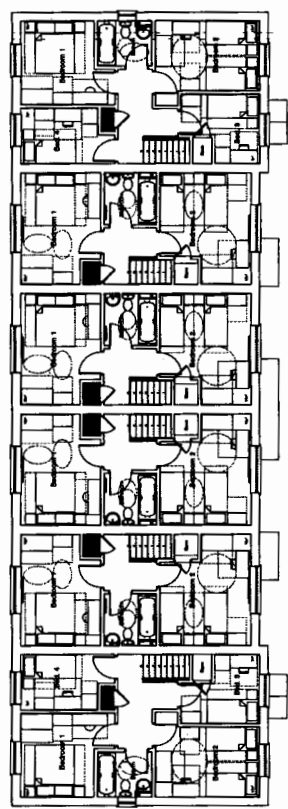
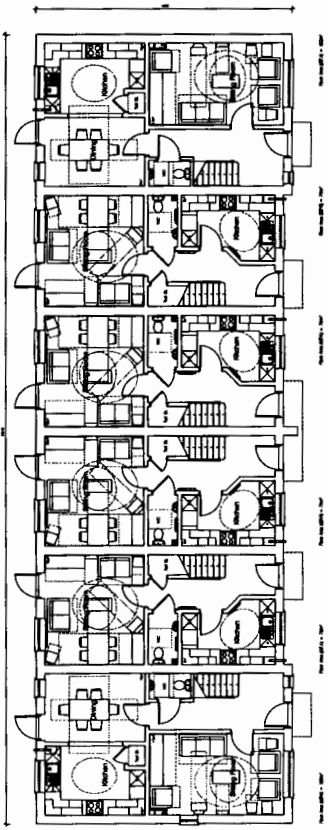
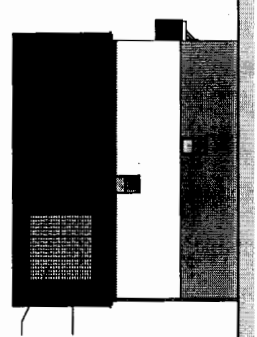
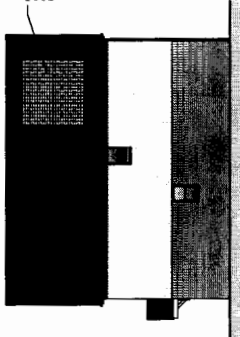
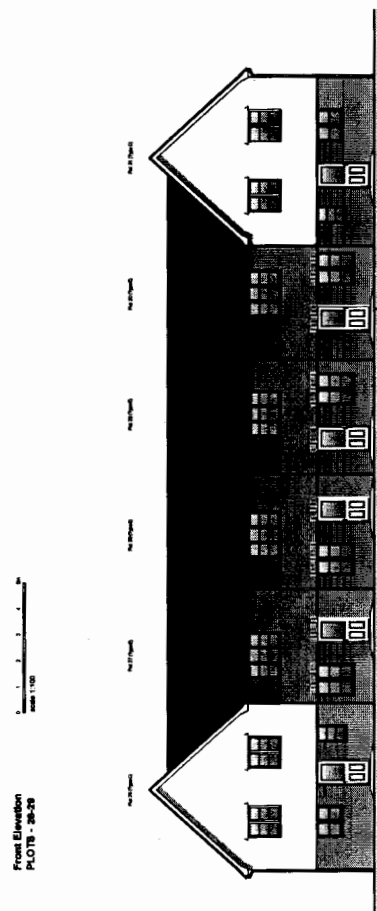
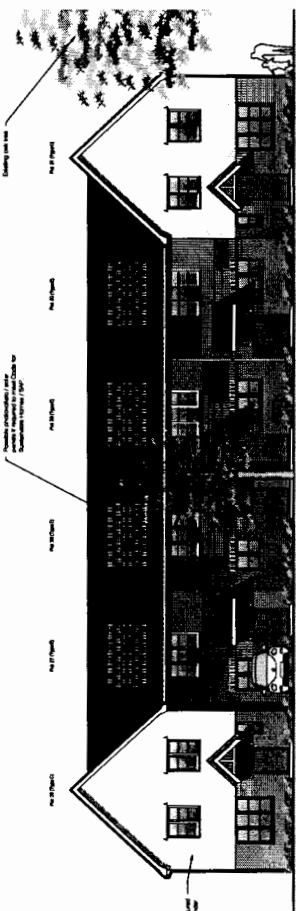
- Materials**
- 1. All materials to be used in the construction of the building shall be of a quality and standard approved by the Architect.
  - 2. The Contractor shall be responsible for the selection of materials and for obtaining samples of the same for the Architect's approval.
  - 3. The Contractor shall be responsible for the selection of the color and finish of the materials to be used in the construction of the building.
  - 4. The Contractor shall be responsible for the selection of the type and size of the windows and doors to be used in the construction of the building.
  - 5. The Contractor shall be responsible for the selection of the type and size of the roof to be used in the construction of the building.
  - 6. The Contractor shall be responsible for the selection of the type and size of the foundation to be used in the construction of the building.
  - 7. The Contractor shall be responsible for the selection of the type and size of the structural steel to be used in the construction of the building.
  - 8. The Contractor shall be responsible for the selection of the type and size of the concrete to be used in the construction of the building.
  - 9. The Contractor shall be responsible for the selection of the type and size of the masonry to be used in the construction of the building.
  - 10. The Contractor shall be responsible for the selection of the type and size of the brick to be used in the construction of the building.

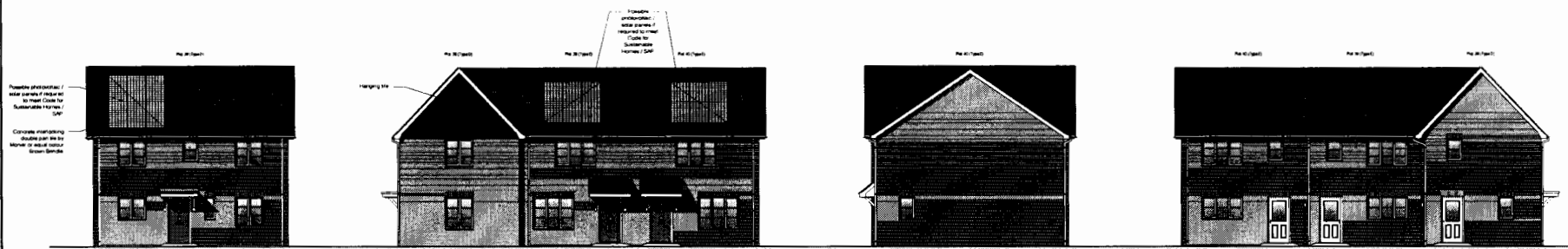
Revisions	Date	Drawn/Checked	By
A	08/14	1:1000/1:1000	GL

**The Design Partnership**  
 150 Longford Street, Dublin 15  
 01 854 8011

Job Title: Proposed Development of 62 Dwellings around Wokley Road, Stowmarket for Orbit Homes  
 Drawing No: PLANNING SUBMISSION Plans and Elevations  
 Plate 26-31

Date: Aug 2014  
 Scale: 1:1000@A1  
 Drawn: GL  
 Checked: GL  
 Title: ORB-657-P07  
 Sheet: A



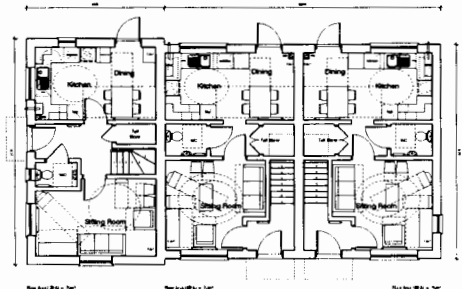


Side Elevation  
PLOTS - 35-40  
SCALE 1:100

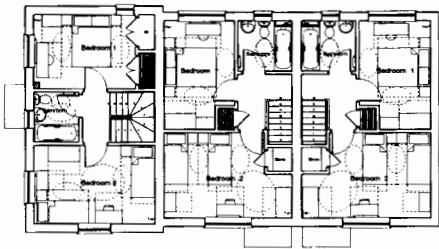
Front Elevation

Side Elevation

Rear Elevation



Ground Floor Plan  
PLOTS - 35-40  
SCALE 1:100



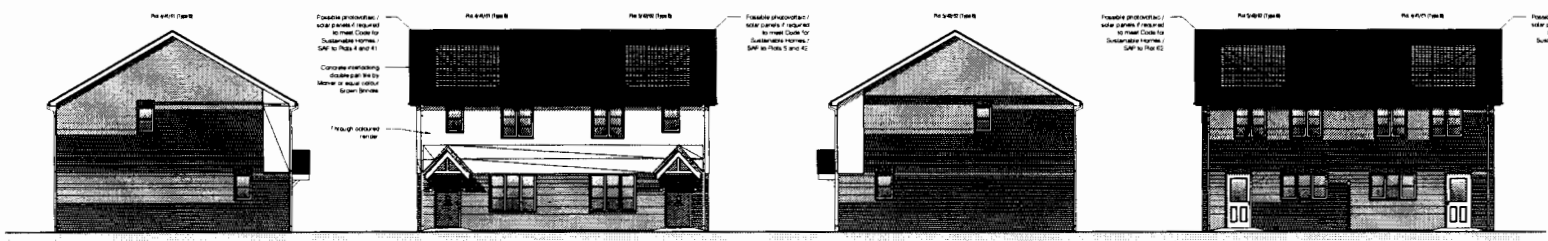
First Floor Plan

NOTES

1. ALL DIMENSIONS ARE SHOWN IN METRE UNLESS OTHERWISE STATED.

- Materials**
- Roof Tiles: as indicated
  - Block: kerbside facing brick to approval of local authority
  - Render: through coloured render. Where there is a mix, colour to be agreed with local authority
  - Through render: as indicated to approval of local authority
  - Windows: where PVCU, self sealed glazing units have been specified and externally finished with self seal to provide 30mm overlap
  - Window frames: as indicated
  - Doors: 100mm solid composite door to be specified by Design Standards
  - Porches: The roof with head covering to be specified with self seal covering or seal to match with main roof covering. Porches to be finished with the same finish as the main roof covering.
  - Floors and Sills: where PVCU

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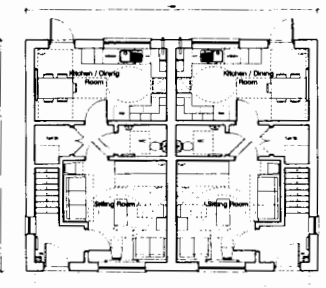


Side Elevation  
PLOTS - 4-5, 41-42 & 61-62  
SCALE 1:100

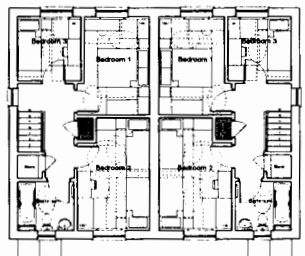
Front Elevation

Side Elevation

Rear Elevation



Ground Floor Plan  
PLOTS - 4-5, 41-42 & 61-62  
SCALE 1:100



First Floor Plan



**The Design Partnership**  
 Design and Planning  
 100 Walsley Road, Stowmarket  
 Suffolk IP11 1JG  
 Tel: 01449 414141  
 Email: info@tdpdesign.com

Proposed Development of 62 Dwellings around  
 Walsley Road, Stowmarket for  
 Orbit Homes

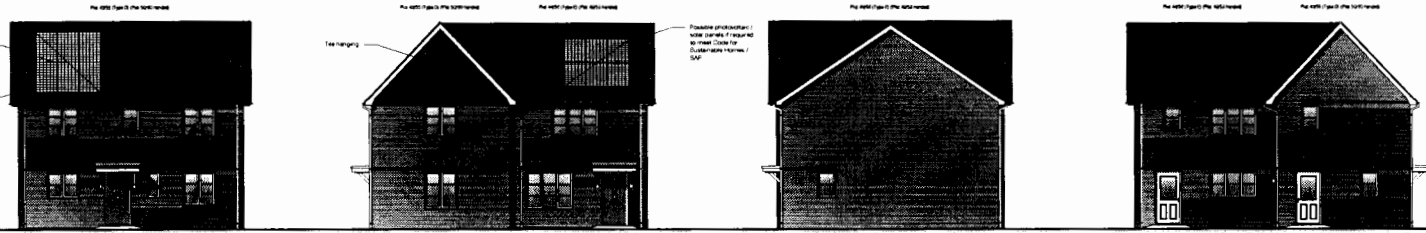
PLANNING SUBMISSION  
 Plans and Elevations  
 Plots 4-5, 38-42 & 61-62

Date	Scale	Drawn	Drawn No.	Rev
Aug 2014	1:100 @ A1	nr	ORH 657-P08	

DATE: 12/11/14  
 THE DESIGN PARTNERSHIP ARCHITECTS  
 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED

**NOTES**

- Materials**
- Roof Tiles - as proposed
  - Brick - Full body facing brick to approval of local authority
  - Render - Through coloured extra weight plaster or stone finish to be agreed with local authority
  - Flat Roofs - shall be constructed to approval of local authority
  - Windows - where PVCU will appear glazing bars have operable and sealable. Frames will take from wall type to provide 30mm deep reveal
  - Windows - double glazing
  - Doors - 1200mm wide composite door as detailed by design standards
  - Porches - shall have roof covering as proposed roof with glass roof covering or lean to porch with glass roof with opening framed with galvanized steel (galvanneal) PVCU frames and soffits
  - Facades and soffits - white PVCU



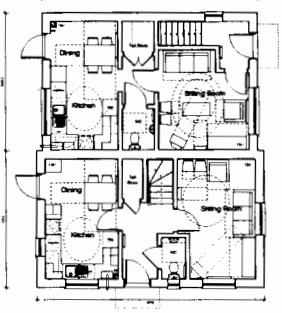
Side Elevation  
 PLOTS - 43-44, 49-50, 55-56 & 59-60



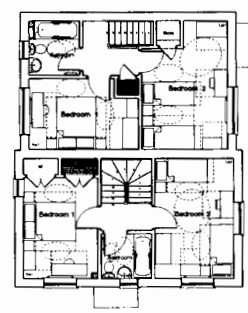
Front Elevation

Side Elevation

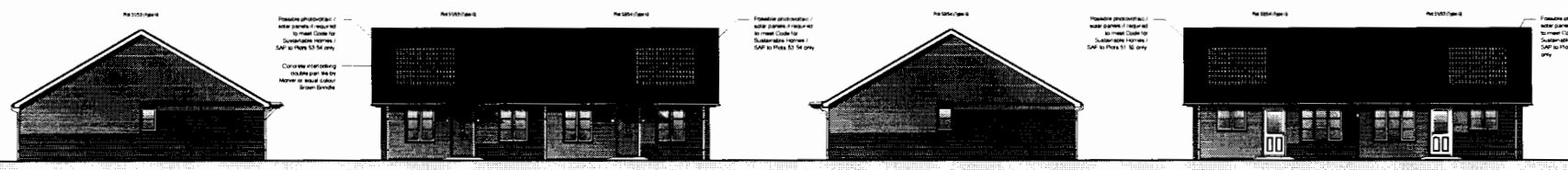
Rear Elevation



Ground Floor Plan  
 PLOTS - 43-44, 49-50, 55-56 & 59-60



First Floor Plan



Side Elevation  
 PLOTS - 51-54



Front Elevation

Side Elevation

Rear Elevation



Ground Floor Plan  
 PLOTS - 51-54



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**The Design Partnership**  
 100, Wolsley Road, Stowmarket, Suffolk, IP11 1JL  
 Tel: 01449 211111  
 Fax: 01449 211112  
 Email: info@tdp.co.uk  
 Website: www.tdp.co.uk

Proposed Development of 62 Dwellings around Wolsley Road, Stowmarket for Orbit Homes

Planning Submission  
 Plans and Elevations  
 Plots 43-44, 49-50, 51-56 & 59-60

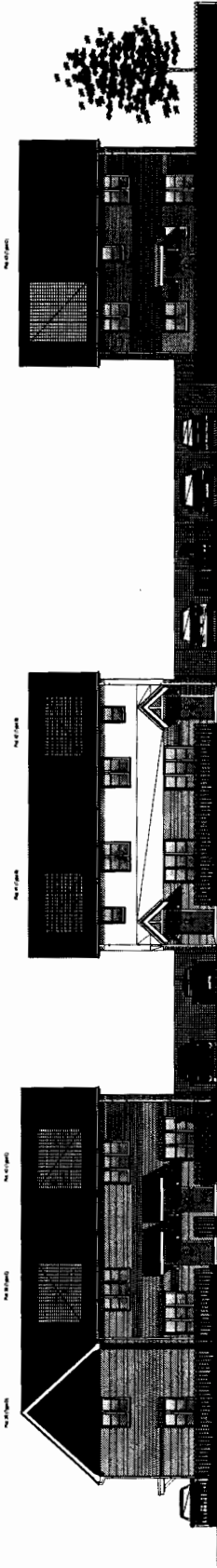
Date	2014	Drawn	rw	Design No.	CRS-657-P09	Rev	
	Aug 2014						



DATE: 08/14/14  
DRAWN: J. WILSON  
CHECKED: J. WILSON  
SCALE: 1/8" = 1'-0"



Street Elevation 1  
PLOTS - 1-8



Street Elevation 2  
PLOTS - 38-43

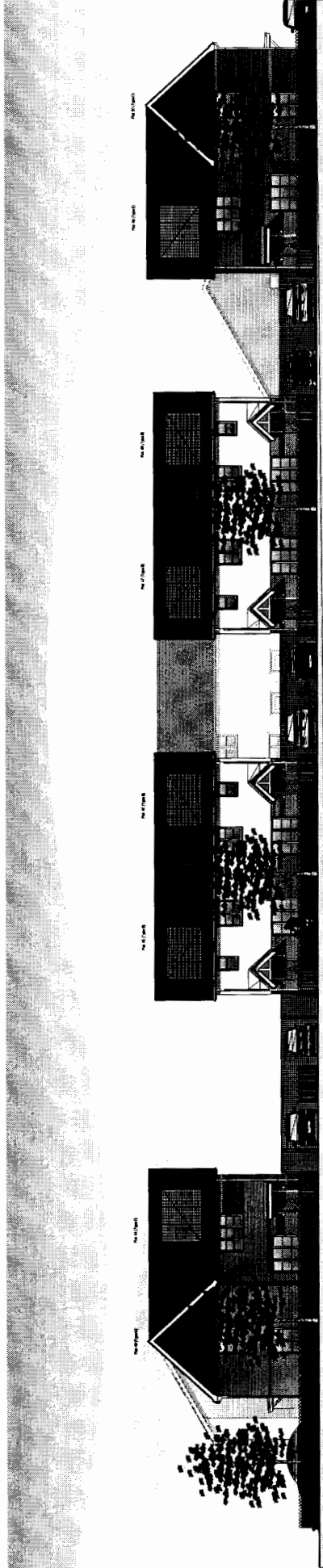
**The Design Partnership**  
 1000 W. 10th St.  
 Suite 200  
 St. Paul, MN 55102  
 Tel: 612.222.1111  
 Fax: 612.222.1112

Proposed Development of 62 Dwellings around  
 Wolsey Road, Stowmarket for  
 Orbit Homes

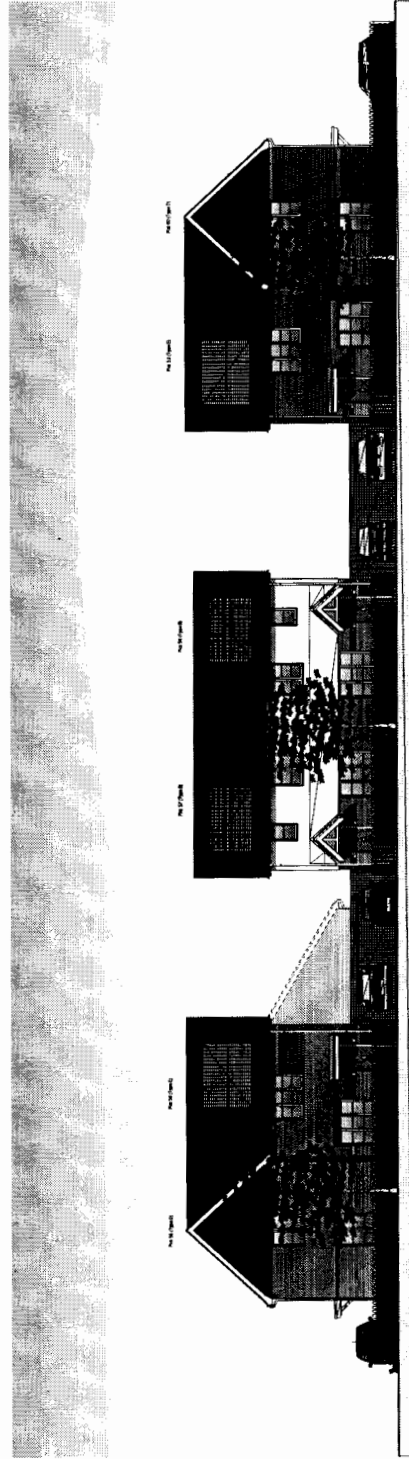
PLANNING SUBMISSION  
 Street Elevations

Date	Scale	Drawn	Checked	Plot No.
Aug 2014	1:100/50A1	JW	JW	ORB-657-P11

THIS IS A PRELIMINARY DESIGN. THE DESIGNER ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS FROM THE APPROPRIATE AGENCIES.



Street Elevation 3  
PLOTS - 43-50



Street Elevation 4  
PLOTS - 51-60



**The Design Partnership**  
 1000 N. 10th Street, Suite 100  
 Portland, OR 97228  
 Phone: 503.241.1111  
 Fax: 503.241.1112

Proposed Development of 62 Dwellings around  
 Walsey Road, Stowmarket for  
 Orbit Homes

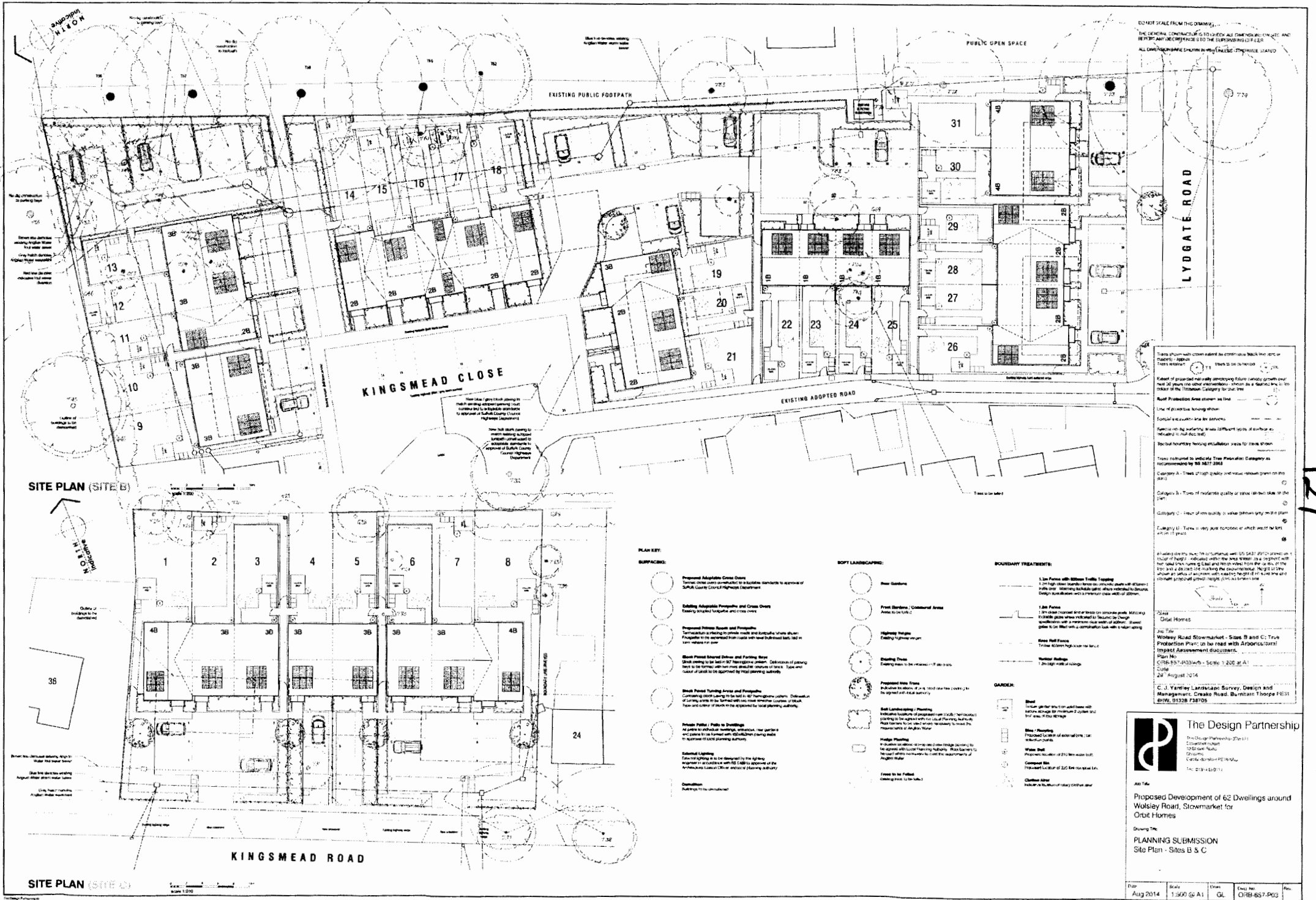
Planning Team  
 PLANNING SUBMISSION  
 Street Elevations - Sheet 2

Date	Aug 2014	Scale	1:100 (S.A.)	Drawn	NR	Check	NR	Draw No.	ORB-607-P12
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EXIST SCALE FROM THIS DRAWING...  
 THE GENERAL CONTRACTORS TO VERIFY ALL DIMENSIONS AND  
 RELEVANT REFERENCES TO THE SURVEYS OF G.P. & C.  
 ALL DIMENSIONS SHOWN IN THIS SCALE SHALL BE AS STATED

- Traces shown with cross hatched as continuous black lines are  
 of existing nature  
 Traces shown with cross hatched as broken lines are  
 of proposed nature
- Level of ground surface immediately surrounding the site boundary shown over  
 next 20 years for other developments shown as a dashed line to the  
 right of the site boundary (see also Category 3 for details)
- Soil Protection Area shown as line
- Line of proposed boundary shown
- Boundary treatment to be shown
- Specified by the planning authority (different types of surface as  
 indicated in this document)
- Soil Protection Area shown as line
- Traces indicated by indicated Tree Protection Category as  
 recommended by BS 5817:2008
- Category A - Trees of high quality and value (listed below on this  
 plan)
- Category B - Trees of moderate quality or value (listed below on the  
 plan)
- Category C - Trees of low quality or value (listed below on the plan)
- Category D - Trees of very poor condition or which would be lost  
 within 15 years

Plotted on the site plan in accordance with BS 5817:2008 (shown on a  
 scale of 1:500) - indicated within the area shown. In a development with  
 trees of high quality (Category A and B) and trees of moderate quality (Category  
 C) a 2m wide strip of ground shall be provided to the boundary of the  
 site (or a 1m wide strip of ground shall be provided to the boundary of the  
 site) to provide a buffer zone between the site and the adjacent site and  
 to provide a buffer zone between the site and the adjacent site.

Site Title  
 Wolsley Road Stowmarket - Sites B and C: Tree  
 Protection Plan: on the east with Agricultural  
 Impact Assessment document.  
 Plan No:  
 C/18/01/0031/01 - Scale 1:250 @ A1  
 Date  
 24 August 2014  
 C. J. Vanley Landscape Survey, Design and  
 Management: Crake Road, Burnham Thorpe NE15  
 6PW, 01508 238709

**PLAN KEY:**  
**SURFACING:**

- Proposed Adoptable Green Drives  
 To be laid in accordance with a suitable standard to approval of  
 SUDAS County Council of Highways Department
- Existing Adoptable Pavements and Green Drives  
 Existing pavements to be laid in accordance with a suitable standard to approval of  
 SUDAS County Council of Highways Department
- Proposed Internal Roads and Footpaths  
 To be laid in accordance with a suitable standard to approval of  
 SUDAS County Council of Highways Department
- Shared Pavement Driveway and Parking Bay  
 Shared driveway to be laid in accordance with a suitable standard to approval of  
 SUDAS County Council of Highways Department. Details of paving  
 to be agreed with the relevant authority. Type and color of surfacing to be approved by local planning authority.
- Shared Paved Tarmac Area and Footpaths  
 Shared paved tarmac area to be laid in accordance with a suitable standard to approval of  
 SUDAS County Council of Highways Department. Details of paving  
 to be agreed with the relevant authority. Type and color of surfacing to be approved by local planning authority.
- Private Paths / Paths to Driveways  
 All paths to be laid in accordance with a suitable standard to approval of  
 SUDAS County Council of Highways Department. Details of paving  
 to be agreed with the relevant authority. Type and color of surfacing to be approved by local planning authority.
- External Lighting  
 External lighting to be provided in accordance with a suitable standard to approval of  
 SUDAS County Council of Highways Department. Details of lighting  
 to be agreed with the relevant authority. Type and color of surfacing to be approved by local planning authority.

**SOFT LANDSCAPING:**

- Grass Turf
- Grass Borders / Commercial Areas
- Highway verges
- Driveway Paths
- Proposed Tree Trunks
- Soft Landscaping / Planting
- Hedge Planting
- Fences to Air Fields

**BOUNDARY TREATMENTS:**

- 1.5m Fence with 50mm Traffic Topping
- 1.5m Fence
- Stone Wall Fences
- Walling Hedges

**GARDEN:**

- Shed
- Shed / Roofing
- Wall Wall
- Covered Shed
- Other other

**SITE PLAN (SITE B)**

**SITE PLAN (SITE C)**

127

**The Design Partnership**  
 The Design Partnership 27th Floor  
 127 Old Bailey  
 London EC4A 3DF  
 020 7546 2000  
 www.thedesignpartnership.com  
 Tel: 020 7546 2000

Job Title  
 Proposed Development of 62 Dwellings around  
 Wolsley Road, Stowmarket for  
 Orbit Homes

Drawing No.  
**PLANNING SUBMISSION**  
 Site Plan - Sites B & C

Date	Scale	Drawn	Checked	Rev.
Aug 2014	1:500 @ A1	GL		ORH-657-P03